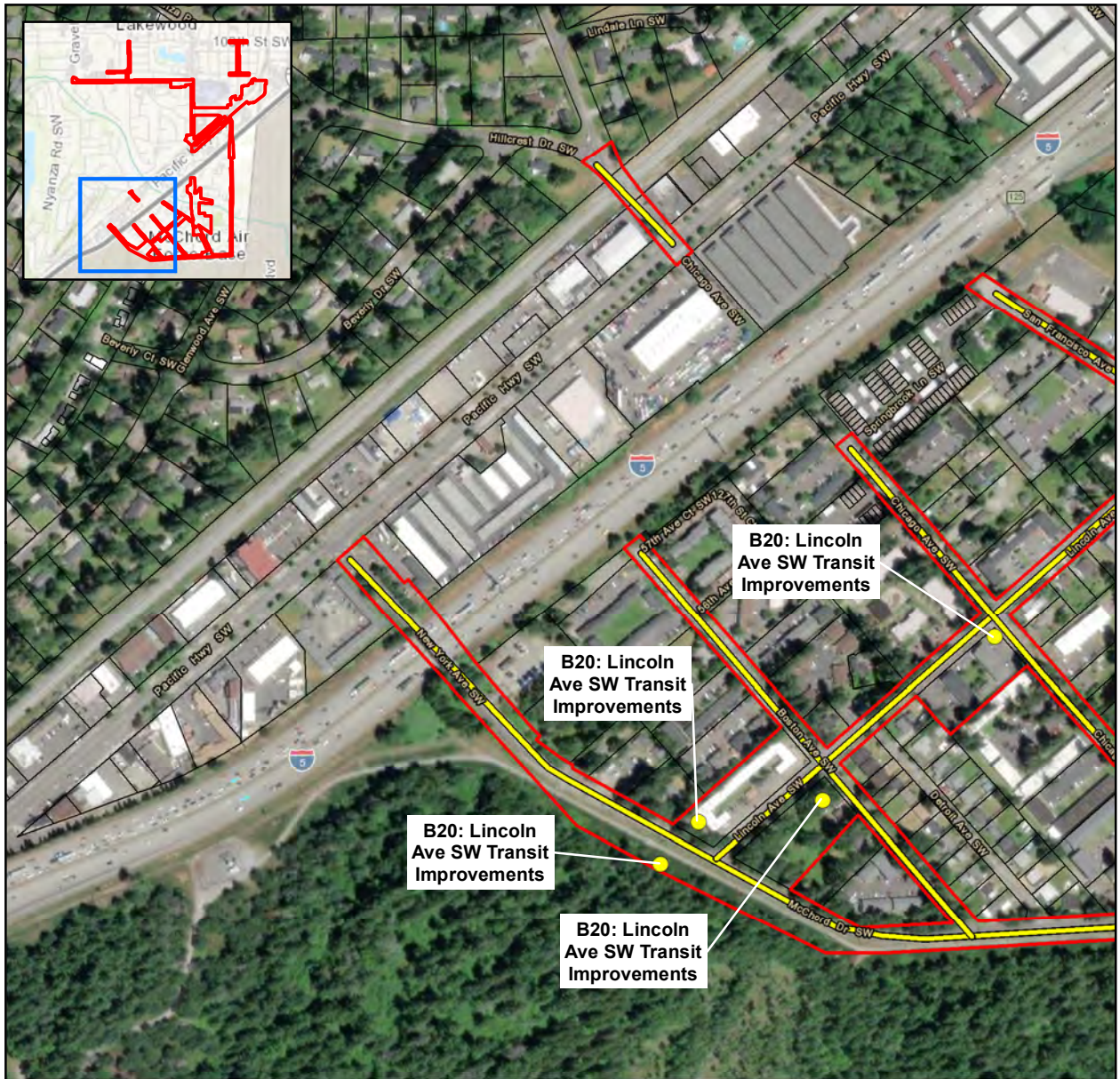


Appendix A

Lakewood Station Access Improvements Project
Aerial



Lakewood Station Access Improvements Project Phase 2 Aerial Overview

- Project Improvement (Spot Location)
- Project Improvement
- Area of Impacts (AI)
- Tax Parcel

Date: 7/13/2023

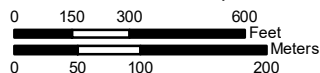


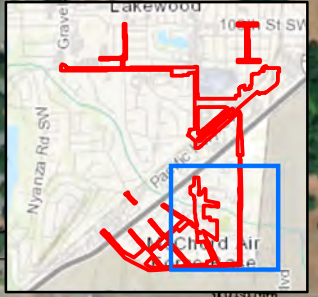
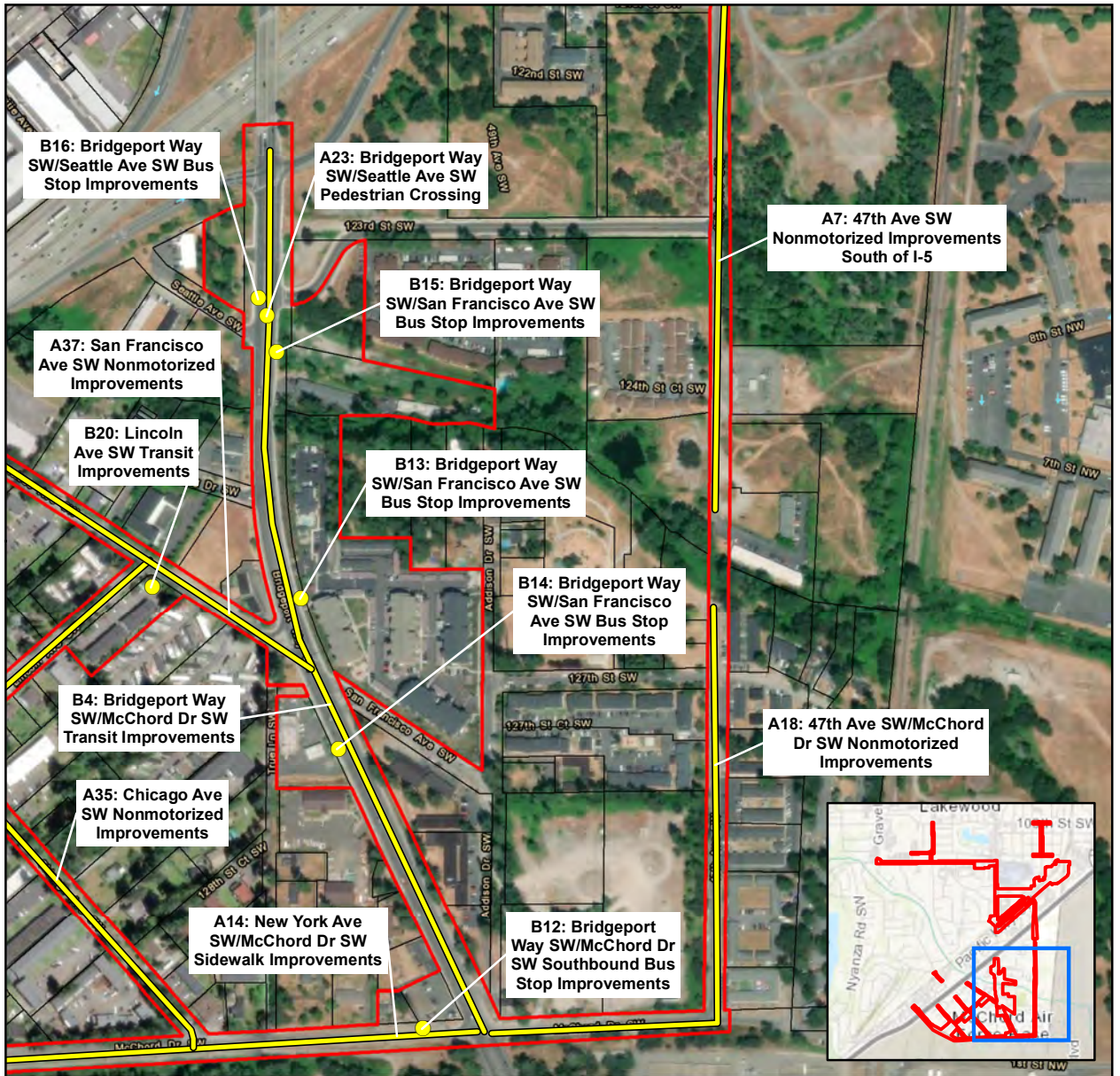
HISTORICAL
RESEARCH
ASSOCIATES, INC.

Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:6,000
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Township/Range T19N R02E	Quadrangle Stellacoom, WA
------------------------------------	-------------------------------------

Service Layer Credits: Esri, HERE, Garmin, (c) OpenStreetMap contributors
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community





Lakewood Station Access Improvements Project Phase 2 Aerial Overview

- Project Improvement (Spot Location)
- Project Improvement
- Area of Impacts (AI)
- Tax Parcel

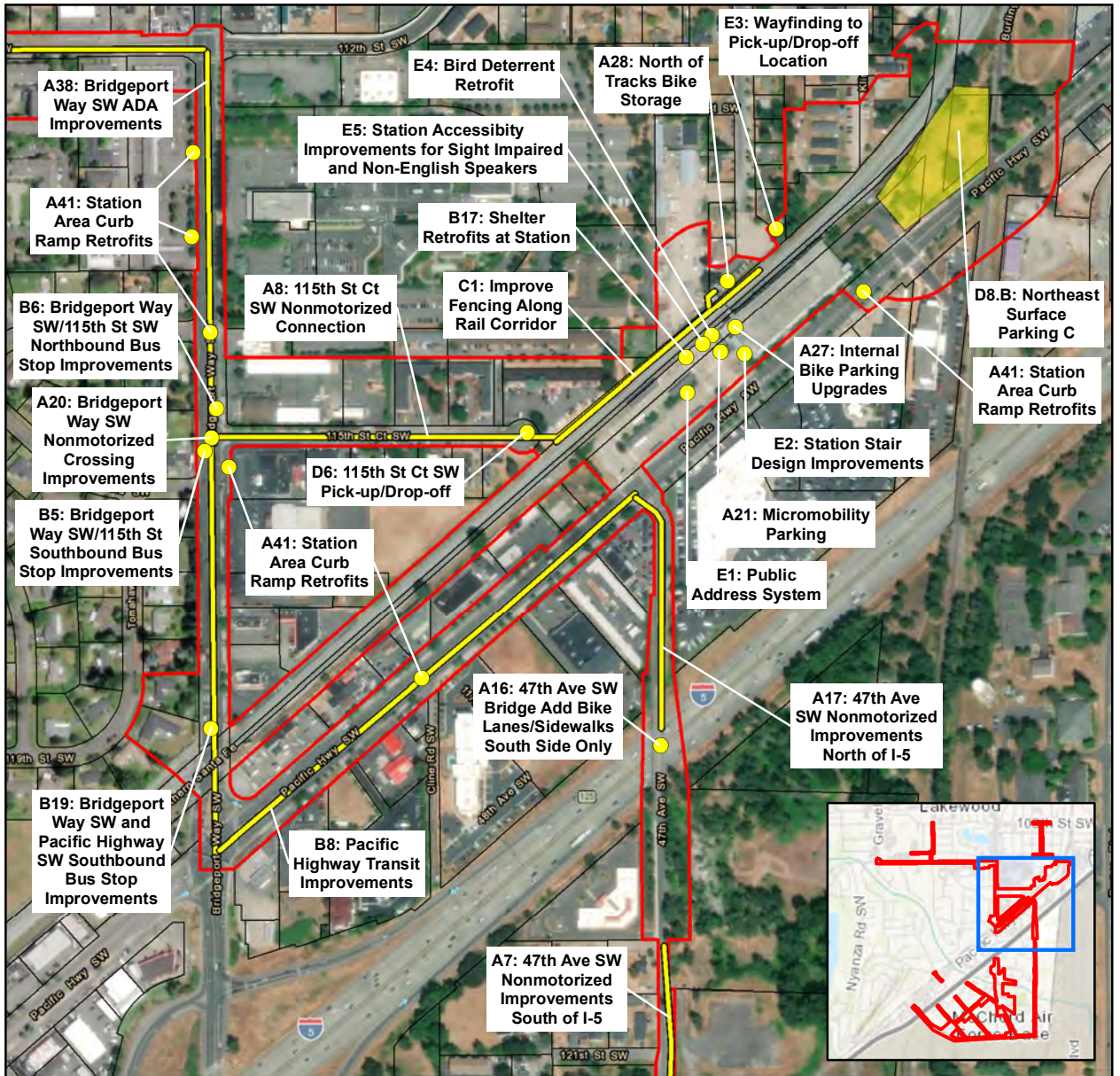
Date: 7/13/2023

HISTORICAL RESEARCH ASSOCIATES, INC.

Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:6,000
Township/Range T19N R02E		Quadrangle Stellacoom and Tacoma South, WA

Service Layer Credits: Esri, HERE, Garmin, (c) OpenStreetMap contributors
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

0 150 300 600 Feet
0 50 100 200 Meters



Lakewood Station Access Improvements Project Phase 2 Aerial Overview

Date: 7/13/2023

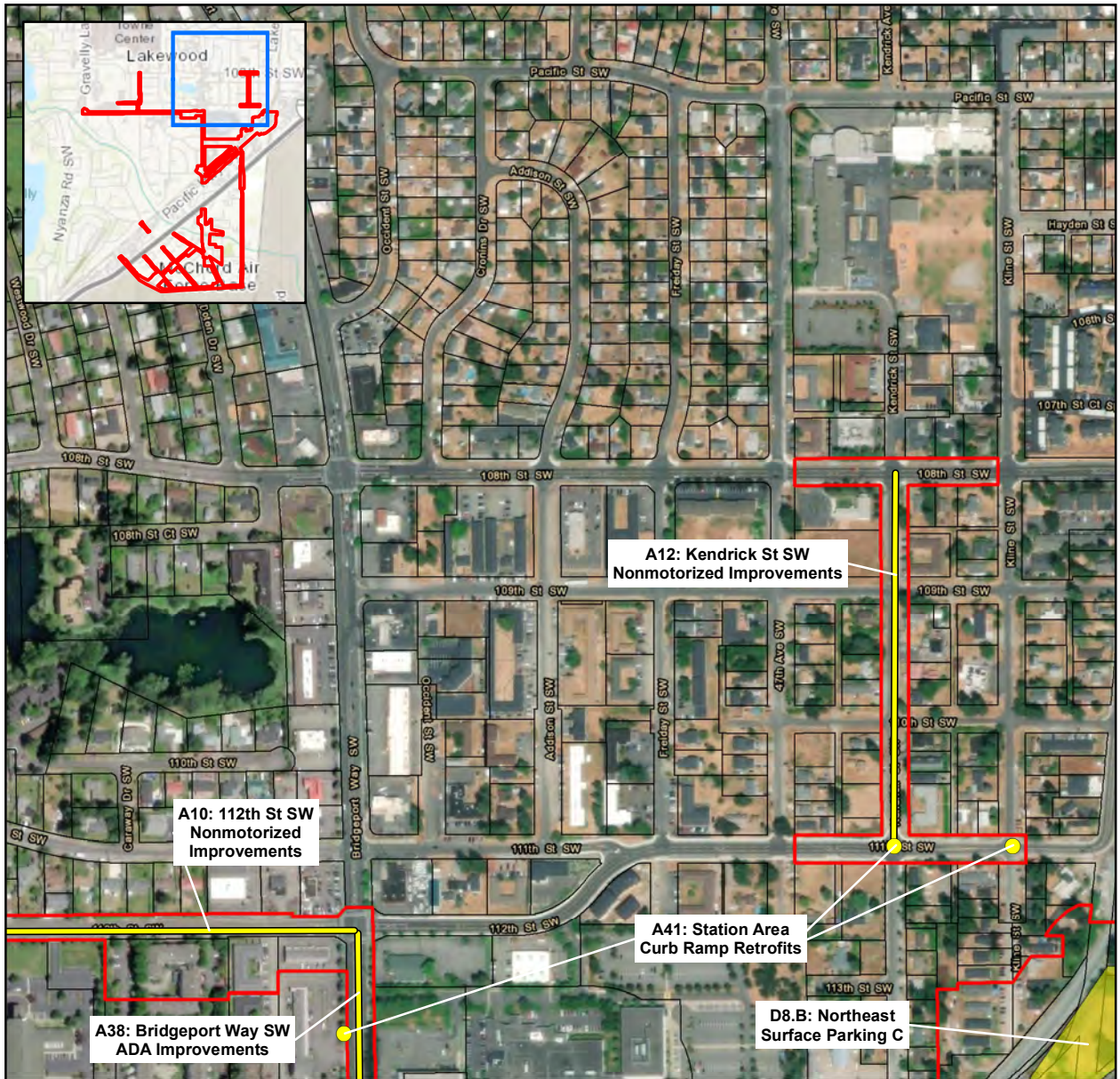


- Project Improvement (Spot Location)
- Project Improvement
- Area of Impacts (AI)
- Tax Parcel

Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:6,000
Township/Range T19N R02E		Quadrangle Steilacoom and Tacoma South, WA

Service Layer Credits: Esri, HERE, Garmin, (c) OpenStreetMap contributors
 Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community





Lakewood Station Access Improvements Project Phase 2 Aerial Overview

Date: 7/13/2023

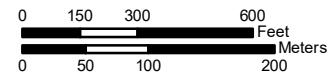


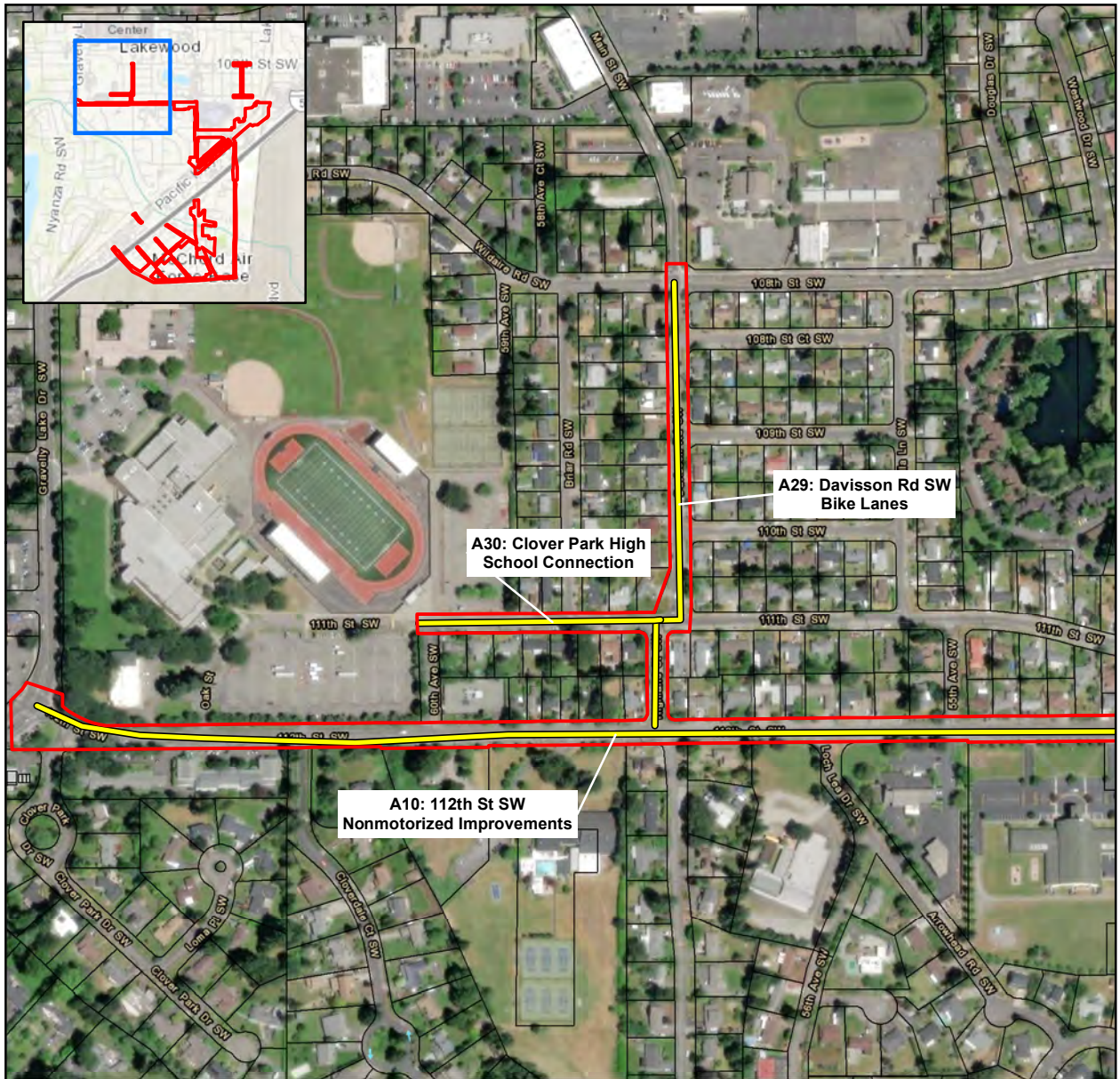
- Project Improvement (Spot Location)
- Project Improvement
- Area of Impacts (AI)
- Tax Parcel

Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:6,000
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Township/Range T19N R02E	Quadrangle Steilacoom and Tacoma South, WA
------------------------------------	--

Service Layer Credits: Esri, HERE, Garmin, (c) OpenStreetMap contributors
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Lakewood Station Access Improvements Project Phase 2 Aerial Overview

- Project Improvement (Spot Location)
- Project Improvement
- Area of Impacts (AI)
- Tax Parcel

Date: 7/13/2023



Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:6,000
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Township/Range T19N R02E	Quadrangle Steilacoom, WA
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Service Layer Credits: Esri, HERE, Garmin, (c) OpenStreetMap contributors
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



Appendix B

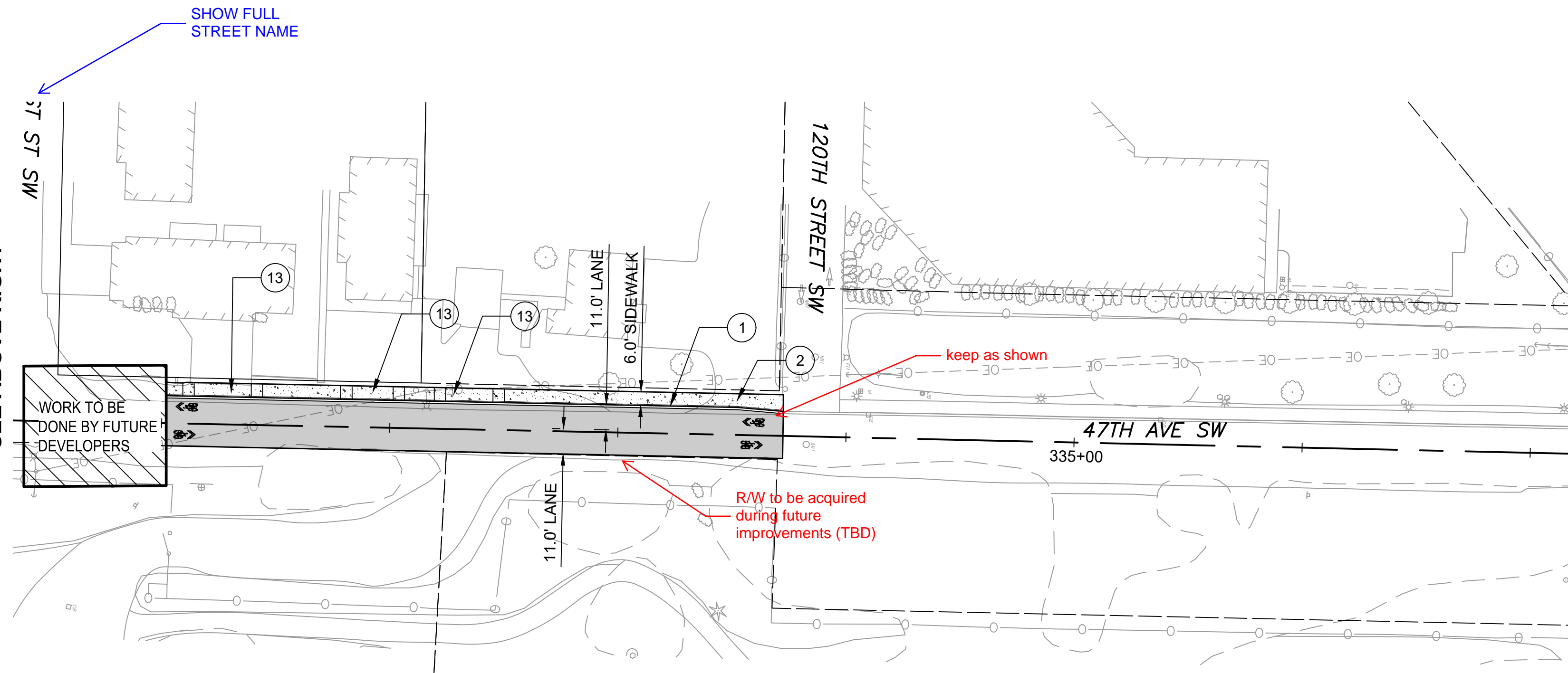
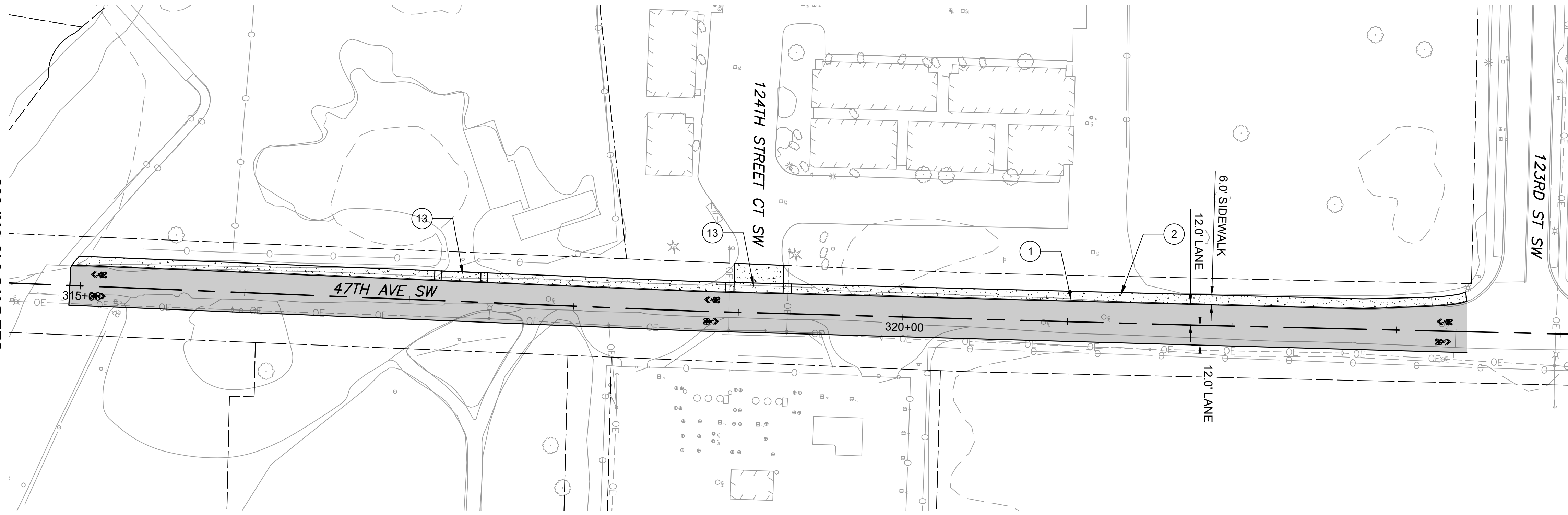
Lakewood Plans – Preliminary

Xrefs:
 RLE-GB-TB22x34
 XLWRA-VRX001
 LWRA-GEN-SHTNOTES
 XLWRA-VSP001
 XLWRA-VOP001
 XLWRA-10-CRP100
 XLWRA-15-CRP150

SEE DWG 049-CRP008

SEE ABOVE RIGHT

SEE BELOW LEFT



CONSTRUCTION NOTES:

- 1 INSTALL CEMENT CONCRETE CURB AND GUTTER PER CITY OF LAKEWOOD STD PLAN SR-04.
- 2 INSTALL CEMENT CONCRETE SIDEWALK PER CITY OF LAKEWOOD STD PLAN FR-03.
- 3 INSTALL CEMENT CONCRETE CURB RAMP PER CURB RAMP PLANS.
- 4 INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE "3" PER WSDOT STD PLAN F-80.10-04.
- 5 INSTALL PLANTER STRIP.
- 6 INSTALL RETAINING WALL.
- 7 INSTALL PEDESTRIAN HANDRAIL FOR FALL PROTECTION.
- 8 INSTALL FULL DEPTH HMA ROADWAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
- 9 INSTALL HMA OVERLAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
- 10 INSTALL PERPENDICULAR CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.15-04.
- 11 INSTALL PARALLEL CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.12-03.
- 12 INSTALL SINGLE DIRECTION CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.16-03.
- 13 INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.
- 14 INSTALL COMBINATION CURB RAMP TYPE PER WSDOT STD PLAN F-40.14-03.
- 15 INSTALL HMA WEDGE CURB, PER CITY OF LAKEWOOD STD PLAN FR-04.

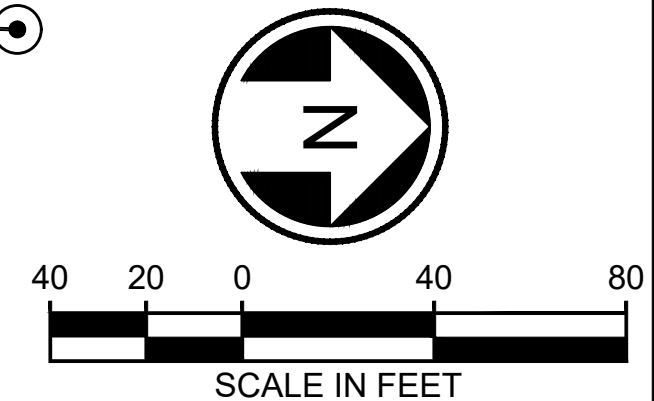
GENERAL NOTES:

1. SEE DRAWING NOS. 052-GZN001 - 052-GZN003 FOR CITY OF LAKEWOOD AND SOUND TRANSIT GENERAL NOTES.
2. REPLACE ALL EXISTING UTILITY LIDS WITHIN BICYCLE AND PEDESTRIAN FACILITIES WITH ANTI SLIP LID.
3. CENTERLINE ALIGNMENTS GENERATED BY GIS RIGHT-OF-WAY LINES, NO FIELD SURVEY WAS CONDUCTED TO VERIFY ALIGNMENTS.
4. MAILBOXES IN CONFLICT WITH WORK TO BE RELOCATED.
5. ILLUMINATION SHALL BE PER CITY STANDARD, NOT SHOWN THESE SHEETS.
6. STANDARD BIKE WAYFINDING SIGNAGE TO BE INCLUDED AS NECESSARY.

LEGEND:

- MILL & OVERLAY ASPHALT CONC PVMT
- ASPHALT RAMP
- LANDSCAPING
- CEMENT CONCRETE SIDEWALK
- TRAFFIC CURB AND GUTTER
- GRAVEL EDGE
- PAVEMENT STRIPING
- SAWCUT
- TEMPORARY EASEMENT
- STOP BAR
- CROSSWALK STRIPES
- BIKE LANE SHARROW
- BICYCLE SHARROW SYMBOL
- TRAFFIC SEPARATOR CURB
- LUMINAIRE

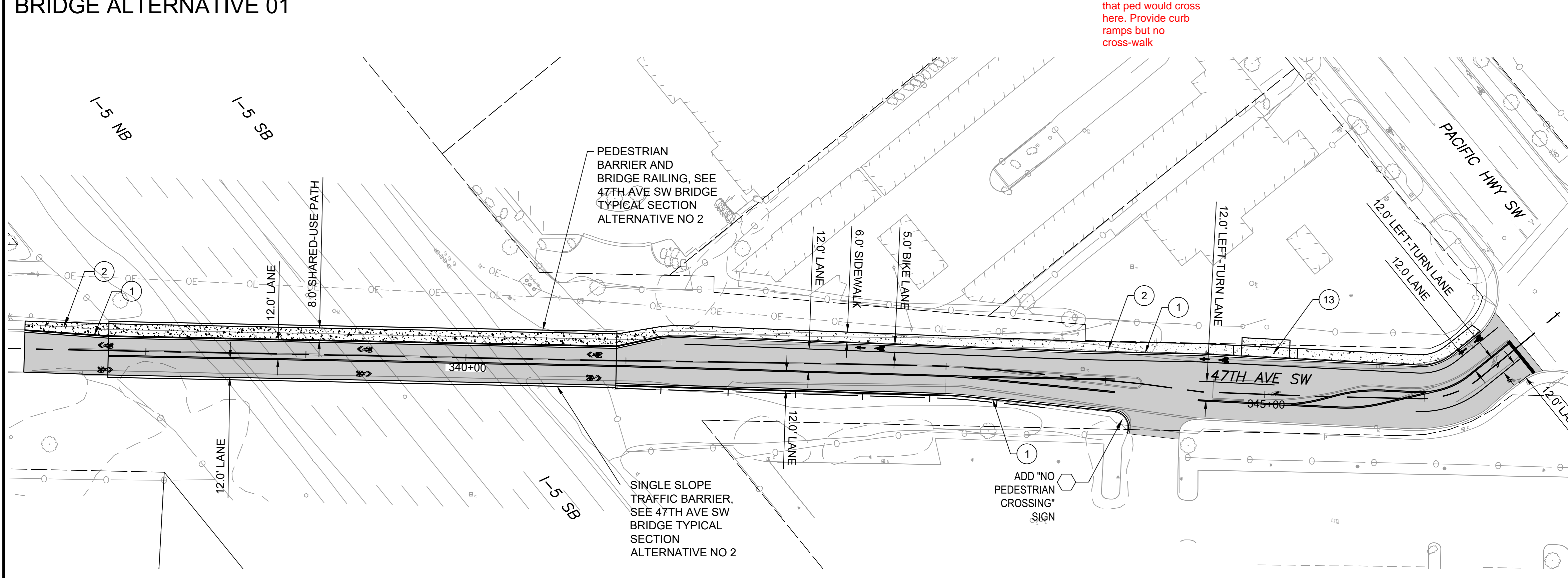
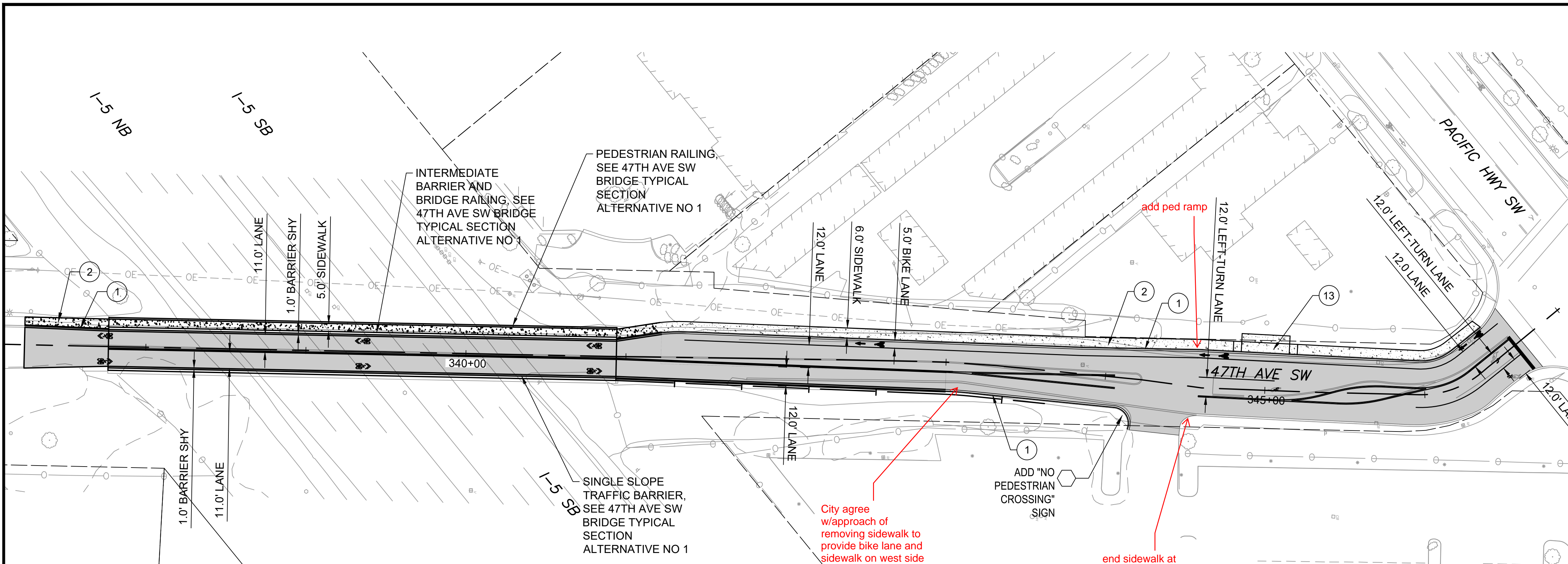
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DESIGNED BY: #####	 Parametrix ENGINEERING · PLANNING · ENVIRONMENTAL SCIENCES 2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	 DAVID EVANS AND ASSOCIATES INC. 2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	 SOUNDTRANSIT				
DRAWN BY: B. WILLIAMS				SCALE: 1"=40'	LAKESWOOD STATION ACCESS IMPROVEMENTS PHASE 2 CIVIL 47TH AVE SW AND BRIDGEPORT WAY SW CITY OF LAKEWOOD		
CHECKED BY: R. PARKER				FILENAME: LWRA-10-CRP006-010		DRAWING No.: 10-CRP009	
APPROVED BY: B. AGAN				CONTRACT No.: RTA/LR ----		FACILITY ID: X##	
No.	DATE	DSN	CHK	APP	REVISION	SHEET No.:	REV:
						#	----

03/14/23 | 7:56 AM | MAYBET
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Xrefs:
 RLE-GB-TB22x34
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 LWRA-GEN-SHTNOTES
 XLWRA-VSFO01
 XLWRA-VOP001
 XLWRA-10-CRP100
 XLWRA-15-CRP150



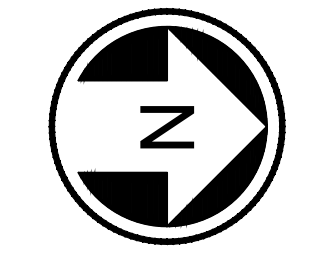
- CONSTRUCTION NOTES:**
1. INSTALL CEMENT CONCRETE CURB AND GUTTER PER CITY OF LAKEWOOD STD PLAN SR-04.
 2. INSTALL CEMENT CONCRETE SIDEWALK PER CITY OF LAKEWOOD STD PLAN FR-03.
 3. INSTALL CEMENT CONCRETE CURB RAMP PER CURB RAMP PLANS.
 4. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE "3" PER WSDOT STD PLAN F-80.10-04.
 5. INSTALL PLANTER STRIP.
 6. INSTALL RETAINING WALL.
 7. INSTALL PEDESTRIAN HANDRAIL FOR FALL PROTECTION.
 8. INSTALL FULL DEPTH HMA ROADWAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
 9. INSTALL HMA OVERLAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
 10. INSTALL PERPENDICULAR CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.15-04.
 11. INSTALL PARALLEL CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.12-03.
 12. INSTALL SINGLE DIRECTION CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.16-03.
 13. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.
 14. INSTALL COMBINATION CURB RAMP TYPE PER WSDOT STD PLAN F-40.14-03.
 15. INSTALL HMA WEDGE CURB, PER CITY OF LAKEWOOD STD PLAN FR-04.

- GENERAL NOTES:**
1. SEE DRAWING NOS. 052-GZN001 - 052-GZN003 FOR CITY OF LAKEWOOD AND SOUND TRANSIT GENERAL NOTES.
 2. REPLACE ALL EXISTING UTILITY LIDS WITHIN BICYCLE AND PEDESTRIAN FACILITIES WITH ANTI SLIP LID.
 3. CENTERLINE ALIGNMENTS GENERATED BY GIS RIGHT-OF-WAY LINES, NO FIELD SURVEY WAS CONDUCTED TO VERIFY ALIGNMENTS.
 4. MAILBOXES IN CONFLICT WITH WORK TO BE RELOCATED.
 5. ILLUMINATION SHALL BE PER CITY STANDARD, NOT SHOWN THESE SHEETS.
 6. STANDARD BIKE WAYFINDING SIGNAGE TO BE INCLUDED AS NECESSARY.

LEGEND:

MILL & OVERLAY ASPHALT CONC PVMT	
ASPHALT RAMP	
LANDSCAPING	
CEMENT CONCRETE SIDEWALK	
TRAFFIC CURB AND GUTTER	
GRAVEL EDGE	
PAVEMENT STRIPING	
SAWCUT	
TEMPORARY EASEMENT	
STOP BAR	
CROSSWALK STRIPES	
BIKE LANE SHARROW	
BICYCLE SHARROW SYMBOL	
TRAFFIC SEPARATOR CURB	
LUMINAIRE	

DRAFT
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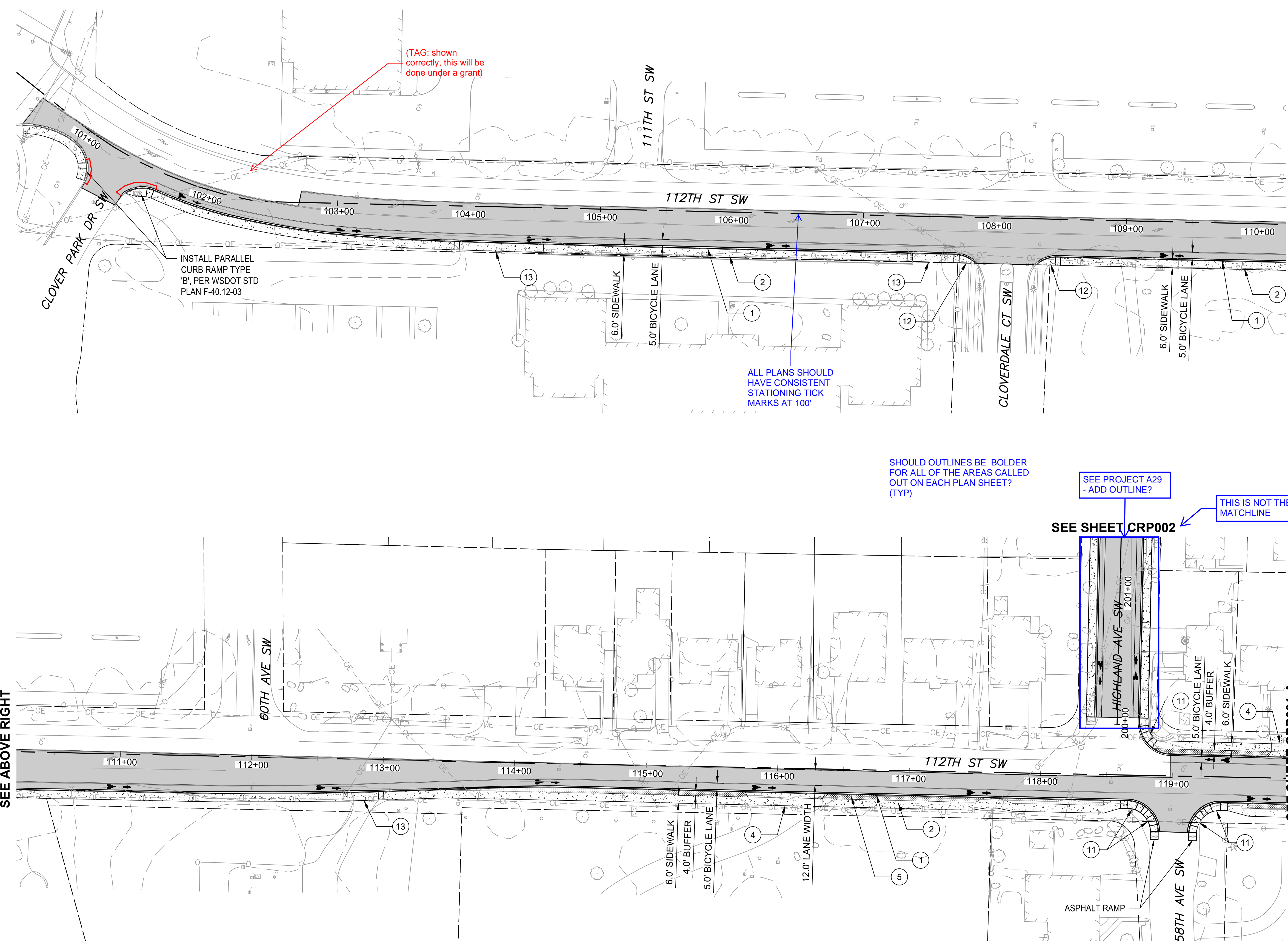
No.	DATE	DSN	CHK	APP	REVISION

DESIGNED BY:	#####
DRAWN BY:	B. WILLIAMS
CHECKED BY:	R. PARKER
APPROVED BY:	B. AGAN

AHJ: LIST AHJS		PACKAGE # ### DESCRIPTION	
<p>ENGINEERING · PLANNING · ENVIRONMENTAL SCIENCES</p>		<p>2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781</p>	
		LAKESWOOD STATION ACCESS IMPROVEMENTS PHASE 2 CIVIL 47TH AVE SW AND PACIFIC HWY SW CITY OF LAKEWOOD	
SUBMITTED BY: T. GONZALES	DATE: 3/13/2023	REVIEWED BY: K YOUSSEF	DATE: 03/13/2023
SCALE: 1"=40' FILENAME: LWRA-10-CRP006-010 CONTRACT No.: RTA/LR ----		DRAWING No.: 10-CRP010 FACILITY ID: X## SHEET No.: # REV: ----	

Xrefs:
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 XLWRA-VR001
 LWRA-GEN-SHTNOTES
 XLWRA-VSF001
 XLWRA-5-CRP050

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 \PARAMETRIX\COMP\PMX\PSO\PROJECTS\Clients\012-DEA\54-3012-049 LAKEWOOD STATION\PH02\985\CS\CADD\DWG\LWRA-05-CRP001-005.DWG



- CONSTRUCTION NOTES:**
1. INSTALL CEMENT CONCRETE CURB AND GUTTER PER CITY OF LAKEWOOD STD PLAN SR-04.
 2. INSTALL CEMENT CONCRETE SIDEWALK PER CITY OF LAKEWOOD STD PLAN FR-03.
 3. INSTALL CEMENT CONCRETE CURB RAMP PER CURB RAMP PLANS.
 4. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE "3" PER WSDOT STD PLAN F-80.10-04.
 5. INSTALL PLANTER STRIP.
 6. INSTALL RETAINING WALL.
 7. INSTALL PEDESTRIAN HANDRAIL FOR FALL PROTECTION.
 8. INSTALL FULL DEPTH HMA ROADWAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
 9. INSTALL HMA OVERLAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
 10. INSTALL PERPENDICULAR CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.15-04.
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 12. INSTALL SINGLE DIRECTION CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.16-03.
 13. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.
 14. INSTALL COMBINATION CURB RAMP TYPE PER WSDOT STD PLAN F-40.14-03.
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- GENERAL NOTES:**
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 2. REPLACE ALL EXISTING UTILITY LIDS WITHIN BICYCLE AND PEDESTRIAN FACILITIES WITH ANTI SLIP LID.
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LEGEND:

- MILL & OVERLAY ASPHALT CONC PVMT
- ASPHALT RAMP
- LANDSCAPING
- CEMENT CONCRETE SIDEWALK
- TRAFFIC CURB AND GUTTER
- GRAVEL EDGE
- PAVEMENT STRIPING
- SAWCUT
- TEMPORARY EASEMENT
- STOP BAR
- CROSSWALK STRIPES
- BIKE LANE SHARROW
- BICYCLE SHARROW SYMBOL
- TRAFFIC SEPARATOR CURB
- LUMINAIRE

DRAFT PRINT

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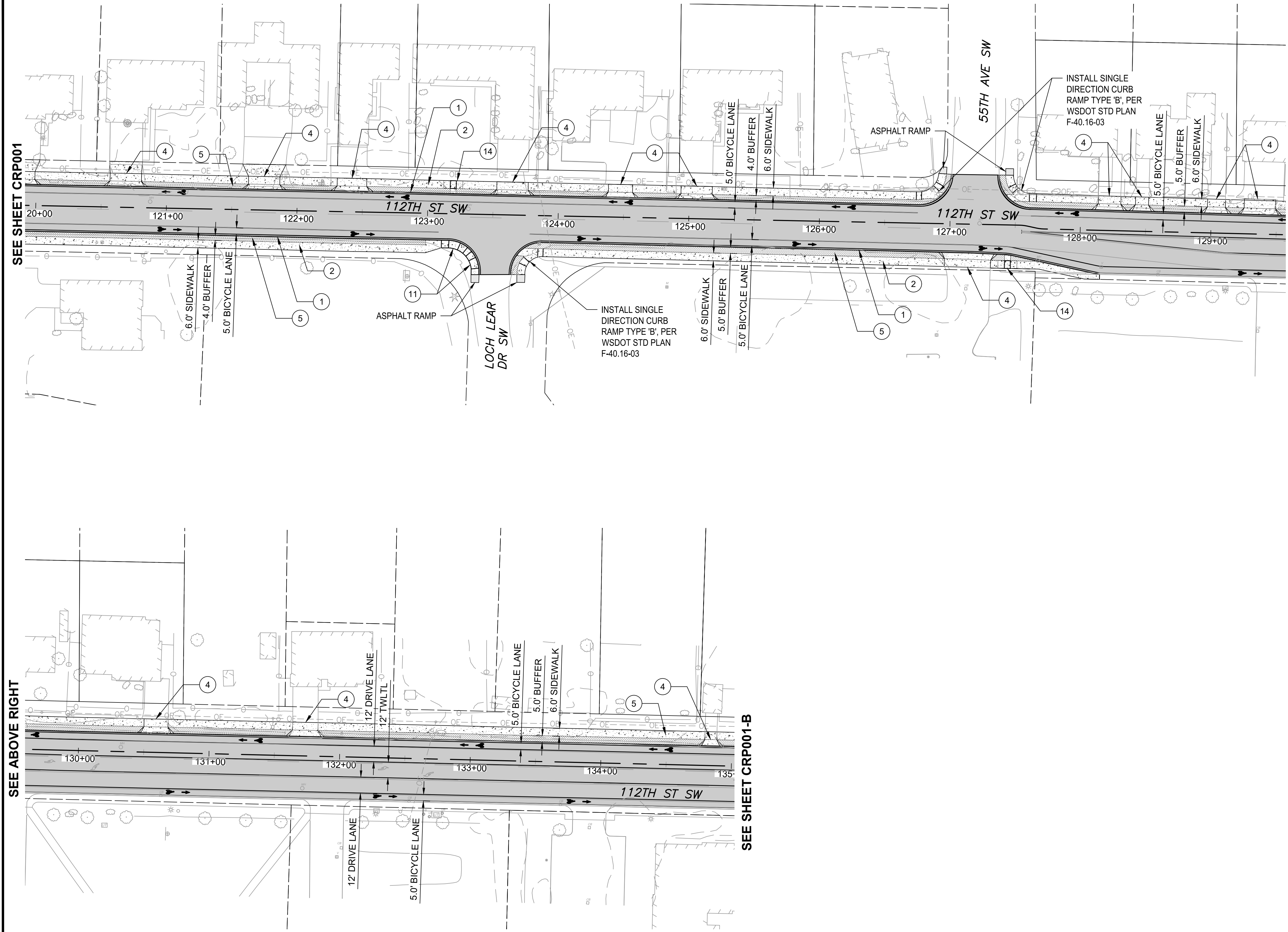
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DESIGNED BY: #####	 Parametrix ENGINEERING · PLANNING · ENVIRONMENTAL SCIENCES 2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	 DAVID EVANS AND ASSOCIATES INC. 2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	 SOUNDTRANSIT									
DRAWN BY: B. WILLIAMS				SCALE: 1"=40'	LAKWOOD STATION ACCESS IMPROVEMENTS PHASE 2 CIVIL 112TH ST SW CITY OF LAKEWOOD							
CHECKED BY: R. PARKER				FILENAME: LWRA-05-CRP001-005		DRAWING No.: 05-CRP001						
APPROVED BY: B. AGAN				CONTRACT No.: RTA/LR ----		FACILITY ID: X##						
No.	DATE	DSN	CHK	APP	REVISION	SUBMITTED BY: T. GONZALES	DATE: 3/14/2023	REVIEWED BY: K YOUSSEF	DATE: H	DATE: 03/14/2023	SHEET No.: #	REV: ---

Xrefs:
 RLE-GB-TB22x34
 XLWRA-VR001
 LWRA-GEN-SHTNOTES
 XLWRA-VSF001
 XLWRA-5-CRP050

SEE SHEET CRP001

SEE ABOVE RIGHT

SEE SHEET CRP001-B



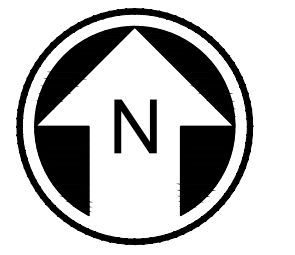
- CONSTRUCTION NOTES:**
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 6. INSTALL RETAINING WALL.
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 13. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.
 14. INSTALL COMBINATION CURB RAMP TYPE PER WSDOT STD PLAN F-40.14-03.
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- GENERAL NOTES:**
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LEGEND:

MILL & OVERLAY ASPHALT CONC PVMT	
ASPHALT RAMP	
LANDSCAPING	
CEMENT CONCRETE SIDEWALK	
TRAFFIC CURB AND GUTTER	
GRAVEL EDGE	
PAVEMENT STRIPING	
SAWCUT	
TEMPORARY EASEMENT	
STOP BAR	
CROSSWALK STRIPES	
BIKE LANE SHARROW	
BICYCLE SHARROW SYMBOL	
TRAFFIC SEPARATOR CURB	
LUMINAIRE	

DRAFT
PRINT

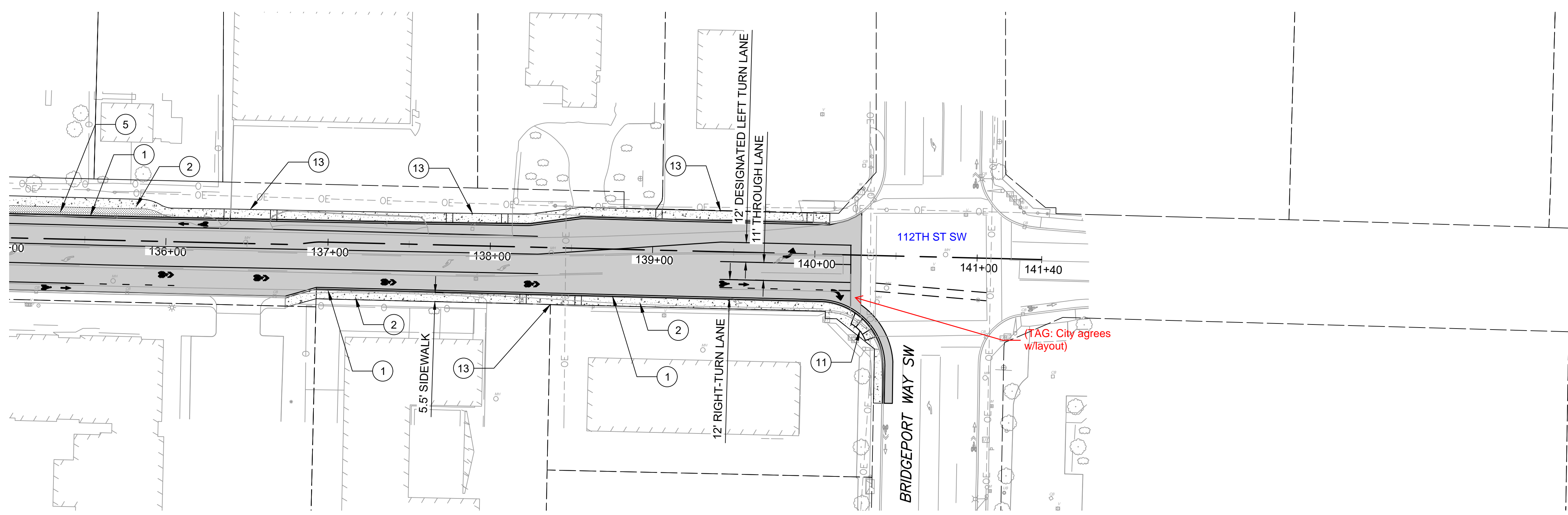


AHJ: LIST AHJS		PACKAGE # ### DESCRIPTION	
DESIGNED BY: ##### DRAWN BY: B. WILLIAMS CHECKED BY: R. PARKER APPROVED BY: B. AGAN	 ENGINEERING · PLANNING · ENVIRONMENTAL SCIENCES	 DAVID EVANS AND ASSOCIATES INC. 2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	SCALE: 1"=40' FILENAME: LWRA-05-CRP001-005 CONTRACT No.: RTA/LR ---- DATE: 03/14/2023
 SOUNDTRANSIT		LINE IS 1" AT FULL SCALE	DATE: 03/14/2023
SUBMITTED BY: T. GONZALES		DATE: 3/14/2023	REVIEWED BY: K YOUSSEF
DATE: 03/14/2023		DATE: 03/14/2023	
LAKESWOOD STATION ACCESS IMPROVEMENTS PHASE 2 CIVIL 112TH ST SW CITY OF LAKEWOOD			DRAWING No.: 05-CRP001-A FACILITY ID: X## SHEET No.: #

03/15/23 | 1:02 PM | OGDENSPE
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Xrefs:
 RLE-GB-TR22x34
 XLWRA-VRX001
 LWRA-GEN-SHTNOTES
 XLWRA-VSFO01
 XLWRA-5-CRP050

SEE SHEET CRP001-A



CONSTRUCTION NOTES:

- 1 INSTALL CEMENT CONCRETE CURB AND GUTTER PER CITY OF LAKEWOOD STD PLAN SR-04.
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- 12 INSTALL SINGLE DIRECTION CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.16-03.
- 13 INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.
- 14 INSTALL COMBINATION CURB RAMP TYPE PER WSDOT STD PLAN F-40.14-03.
- 15 INSTALL HMA WEDGE CURB, PER CITY OF LAKEWOOD STD PLAN FR-04.

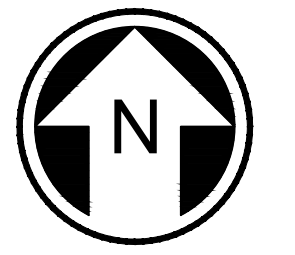
GENERAL NOTES:

1. SEE DRAWING NOS. 052-GZN001 - 052-GZN003 FOR CITY OF LAKEWOOD AND SOUND TRANSIT GENERAL NOTES.
2. REPLACE ALL EXISTING UTILITY LIDS WITHIN BICYCLE AND PEDESTRIAN FACILITIES WITH ANTI SLIP LID.
3. CENTERLINE ALIGNMENTS GENERATED BY GIS RIGHT-OF-WAY LINES, NO FIELD SURVEY WAS CONDUCTED TO VERIFY ALIGNMENTS.
4. MAILBOXES IN CONFLICT WITH WORK TO BE RELOCATED.
5. ILLUMINATION SHALL BE PER CITY STANDARD, NOT SHOWN THESE SHEETS.
6. STANDARD BIKE WAYFINDING SIGNAGE TO BE INCLUDED AS NECESSARY.

LEGEND:

MILL & OVERLAY ASPHALT CONC PVMT	
ASPHALT RAMP	
LANDSCAPING	
CEMENT CONCRETE SIDEWALK	
TRAFFIC CURB AND GUTTER	
GRAVEL EDGE	
PAVEMENT STRIPING	
SAWCUT	
TEMPORARY EASEMENT	
STOP BAR	
CROSSWALK STRIPES	
BIKE LANE SHARROW	
BICYCLE SHARROW SYMBOL	
TRAFFIC SEPARATOR CURB	
LUMINAIRE	

DRAFT
PRINT



03/15/23 | 1:03 PM | OGDENSPE \\PARAMETRIX.COM\PMX\PSO\PROJECTS\CLIENTS\012-DEA\554-3012-049 LAKEWOODSTATION\PH02\985\CS\CADD\DWG\LWRA-05-CRP001-005.DWG

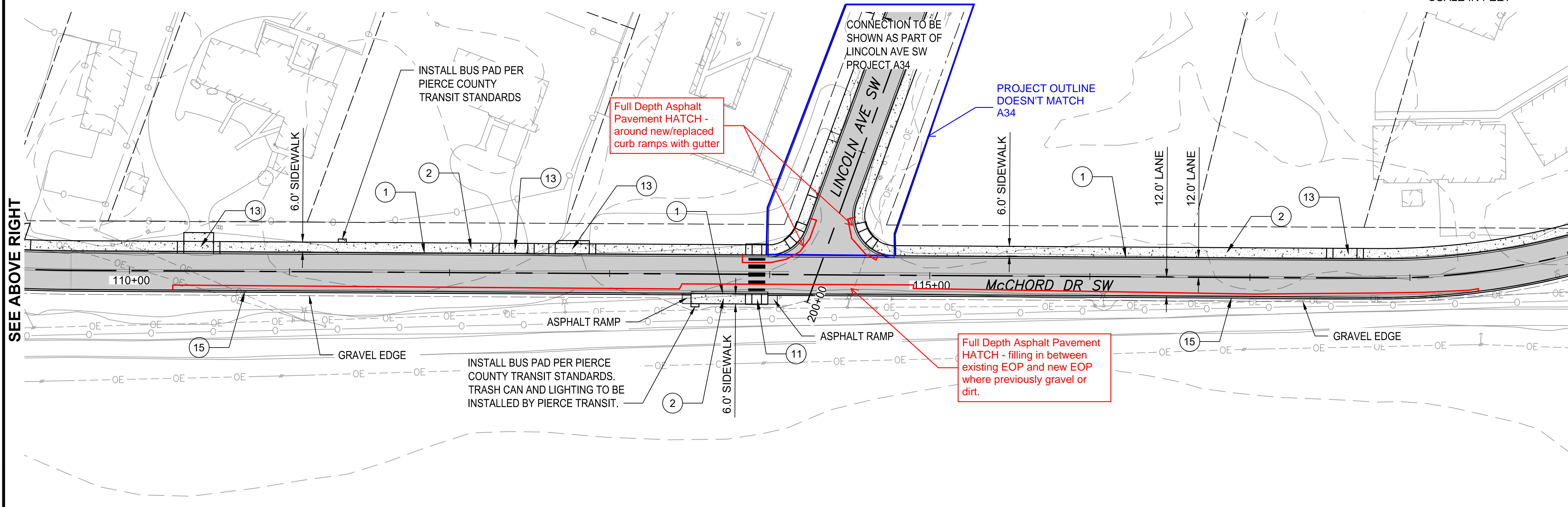
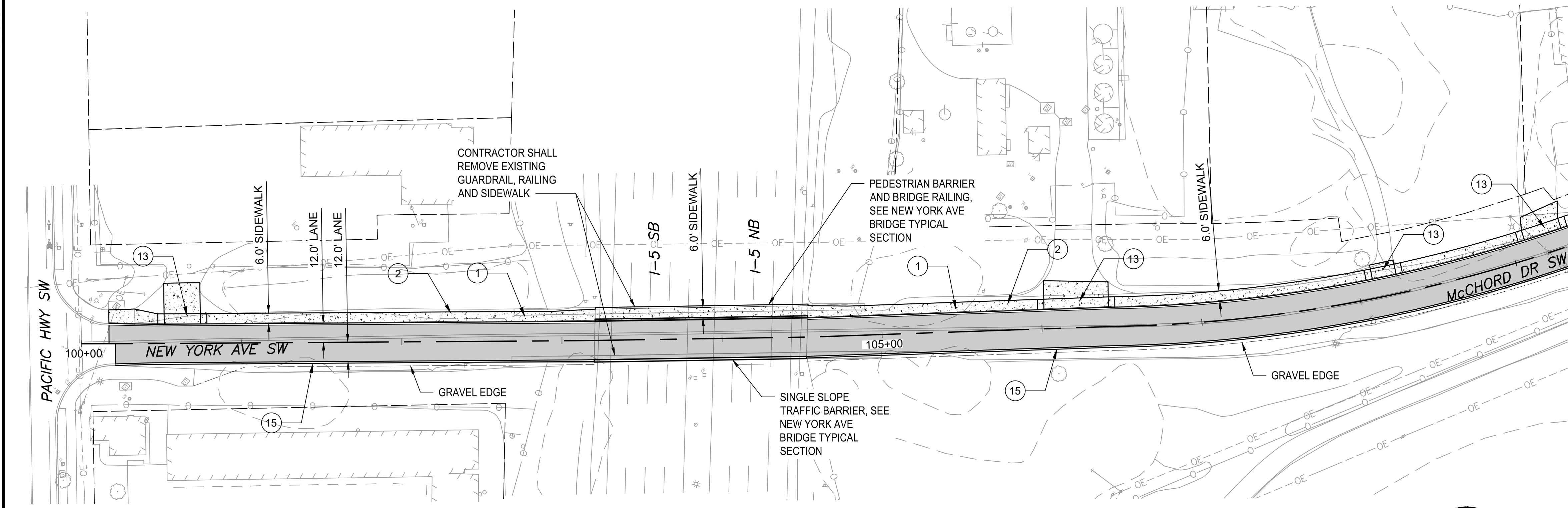
No.	DATE	DSN	CHK	APP	REVISION

DESIGNED BY: #####
DRAWN BY: B. WILLIAMS
CHECKED BY: R. PARKER
APPROVED BY: B. AGAN

AHJ: LIST AHJS		PACKAGE # ### DESCRIPTION	
		LINE IS 1" AT FULL SCALE	
2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781		
SUBMITTED BY: T. GONZALES	DATE: 3/14/2023	REVIEWED BY: K YOUSSEF	DATE: H

SCALE: 1"=40'	LAKESWOOD STATION ACCESS IMPROVEMENTS PHASE 2 CIVIL 112TH ST SW CITY OF LAKEWOOD	DRAWING No.: 05-CRP001-B
FILENAME: LWRA-05-CRP001-005		FACILITY ID: X##
CONTRACT No.: RTA/LR ----		SHEET No.: #
DATE: 03/14/2023		REV: ----

Xrefs:
 RLE-GB-TR22x34
 XLWRA-VRX001
 LWRA-GEN-SHTNOTES
 XLWRA-VSP001
 XLWRA-VOP001
 XLWRA-10-CRP100
 XLWRA-15-CRP150



- CONSTRUCTION NOTES:**
1. INSTALL CEMENT CONCRETE CURB AND GUTTER PER CITY OF LAKEWOOD STD PLAN SR-04.
 2. INSTALL CEMENT CONCRETE SIDEWALK PER CITY OF LAKEWOOD STD PLAN FR-03.
 3. INSTALL CEMENT CONCRETE CURB RAMP PER CURB RAMP PLANS.
 4. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE "3" PER WSDOT STD PLAN F-80.10-04.
 5. INSTALL PLANTER STRIP.
 6. INSTALL RETAINING WALL.
 7. INSTALL PEDESTRIAN HANDRAIL FOR FALL PROTECTION.
 8. INSTALL FULL DEPTH HMA ROADWAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
 9. INSTALL HMA OVERLAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
 10. INSTALL PERPENDICULAR CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.15-04.
 11. INSTALL PARALLEL CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.12-03.
 12. INSTALL SINGLE DIRECTION CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.16-03.
 13. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.
 14. INSTALL COMBINATION CURB RAMP TYPE PER WSDOT STD PLAN F-40.14-03.
 15. INSTALL HMA WEDGE CURB, PER CITY OF LAKEWOOD STD PLAN FR-04.

- GENERAL NOTES:**
1. SEE DRAWING NOS. 052-GZN001 - 052-GZN003 FOR CITY OF LAKEWOOD AND SOUND TRANSIT GENERAL NOTES.
 2. REPLACE ALL EXISTING UTILITY LIDS WITHIN BICYCLE AND PEDESTRIAN FACILITIES WITH ANTI SLIP LID.
 3. CENTERLINE ALIGNMENTS GENERATED BY GIS RIGHT-OF-WAY LINES, NO FIELD SURVEY WAS CONDUCTED TO VERIFY ALIGNMENTS.
 4. MAILBOXES IN CONFLICT WITH WORK TO BE RELOCATED.
 5. ILLUMINATION SHALL BE PER CITY STANDARD, NOT SHOWN THESE SHEETS.
 6. STANDARD BIKE WAYFINDING SIGNAGE TO BE INCLUDED AS NECESSARY.

LEGEND:

- MILL & OVERLAY ASPHALT CONC PVMT
- ASPHALT RAMP
- LANDSCAPING
- CEMENT CONCRETE SIDEWALK
- TRAFFIC CURB AND GUTTER
- GRAVEL EDGE
- PAVEMENT STRIPING
- SAWCUT
- TEMPORARY EASEMENT
- STOP BAR
- CROSSWALK STRIPES
- BIKE LANE SHARROW
- BICYCLE SHARROW SYMBOL
- TRAFFIC SEPARATOR CURB
- LUMINAIRE

**DRAFT
PRINT**

03/10/23 | 1:51 PM | MAYBET
 U:\PSO\PROJECTS\CLIENTS\3012-DEA\554-3012-049 LAKEWOOD STATION\PH02\989\SVCS\CADD\DWG\LWRA-10-CRP006-010.DWG

No.	DATE	DSN	CHK	APP	REVISION

DESIGNED BY: #####	Parametrix <small>ENGINEERING · PLANNING · ENVIRONMENTAL SCIENCES</small> 	 DAVID EVANS AND ASSOCIATES INC. <small>2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781</small>	 SOUND TRANSIT
DRAWN BY: B. WILLIAMS			
CHECKED BY: R. PARKER			
APPROVED BY: B. AGAN			

AHJ: LIST AHJS		PACKAGE # ### DESCRIPTION	
SUBMITTED BY: T. GONZALES	DATE: 3/9/2023	REVIEWED BY: K YOUSSEF	DATE: H
SCALE: 1"=40'		LAKESWOOD STATION ACCESS IMPROVEMENTS PHASE 2 CIVIL ##### CITY OF LAKEWOOD	
FILENAME: LWRA-10-CRP006-010		CONTRACT No.: RTA/LR ----	
DATE: 03/09/2023		DRAWING No.: 10-CRP006	
SHEET No.: #		REV: ---	

SCALE: 1"=40'	LAKESWOOD STATION ACCESS IMPROVEMENTS PHASE 2 CIVIL ##### CITY OF LAKEWOOD
FILENAME: LWRA-10-CRP006-010	
CONTRACT No.: RTA/LR ----	
DATE: 03/09/2023	
DRAWING No.: 10-CRP006	
SHEET No.: #	REV: ---

Xrefs:
 RLE-GB-TB22x34
 XLWRA-VR001
 LWRA-GEN-SHTNOTES
 XLWRA-VSP001
 XLWRA-VOP001
 XLWRA-10-CRP100
 XLWRA-15-CRP150

SEE DWG 049-CRP006

SEE ABOVE RIGHT

CONSTRUCTION NOTES:

- 1 INSTALL CEMENT CONCRETE CURB AND GUTTER PER CITY OF LAKEWOOD STD PLAN SR-04.
- 2 INSTALL CEMENT CONCRETE SIDEWALK PER CITY OF LAKEWOOD STD PLAN FR-03.
- 3 INSTALL CEMENT CONCRETE CURB RAMP PER CURB RAMP PLANS.
- 4 INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE "3" PER WSDOT STD PLAN F-80.10-04.
- 5 INSTALL PLANTER STRIP.
- 6 INSTALL RETAINING WALL.
- 7 INSTALL PEDESTRIAN HANDRAIL FOR FALL PROTECTION.
- 8 INSTALL FULL DEPTH HMA ROADWAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
- 9 INSTALL HMA OVERLAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
- 10 INSTALL PERPENDICULAR CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.15-04.
- 11 INSTALL PARALLEL CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.12-03.
- 12 INSTALL SINGLE DIRECTION CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.16-03.
- 13 INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.
- 14 INSTALL COMBINATION CURB RAMP TYPE PER WSDOT STD PLAN F-40.14-03.
- 15 INSTALL HMA WEDGE CURB, PER CITY OF LAKEWOOD STD PLAN FR-04.

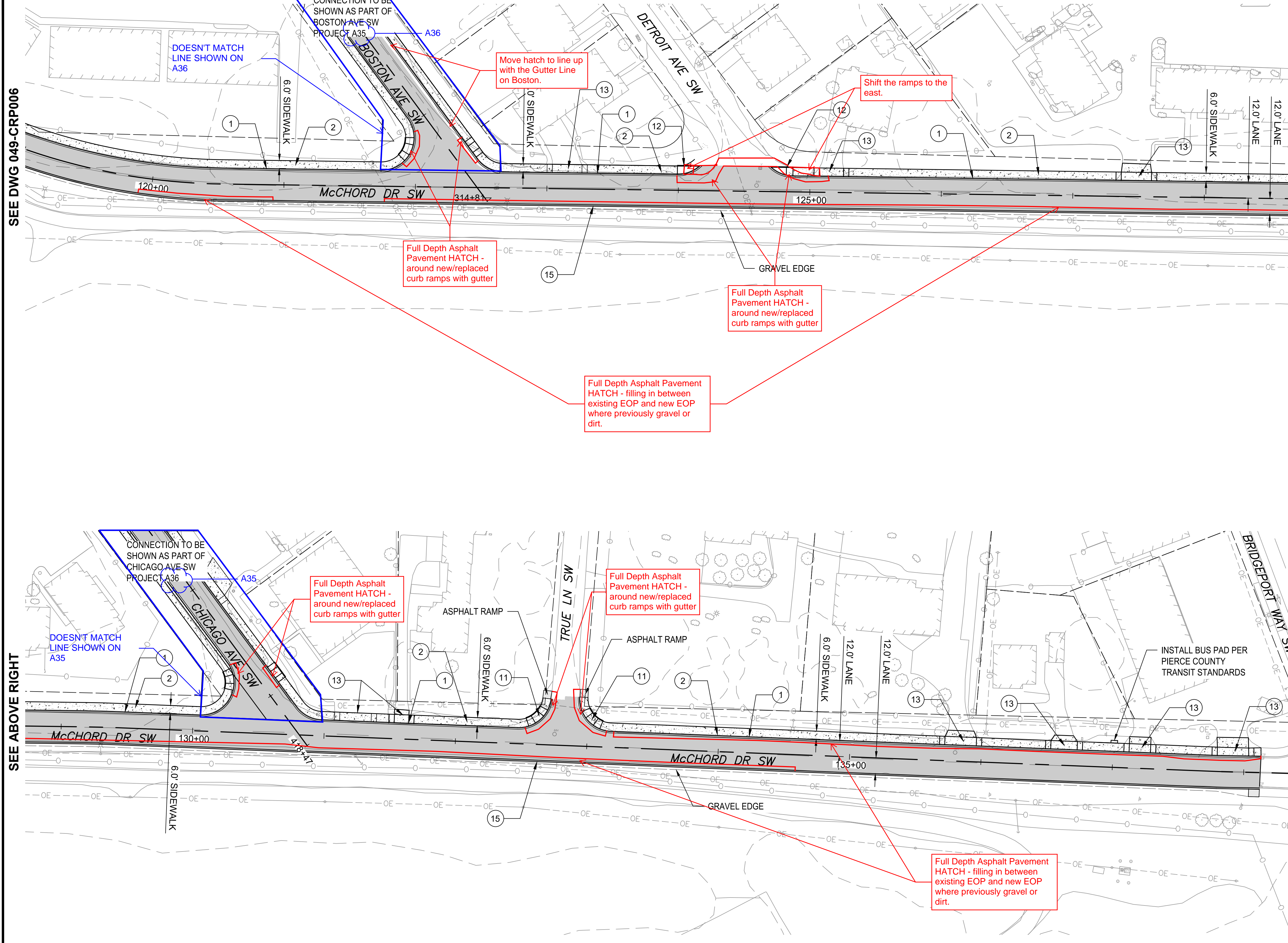
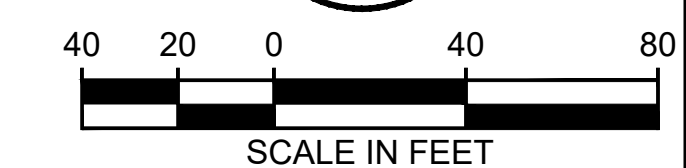
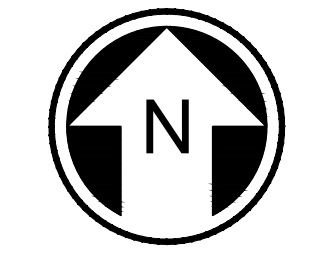
GENERAL NOTES:

1. SEE DRAWING NOS. 052-GZN001 - 052-GZN003 FOR CITY OF LAKEWOOD AND SOUND TRANSIT GENERAL NOTES.
2. REPLACE ALL EXISTING UTILITY LIDS WITHIN BICYCLE AND PEDESTRIAN FACILITIES WITH ANTI SLIP LID.
3. CENTERLINE ALIGNMENTS GENERATED BY GIS RIGHT-OF-WAY LINES, NO FIELD SURVEY WAS CONDUCTED TO VERIFY ALIGNMENTS.
4. MAILBOXES IN CONFLICT WITH WORK TO BE RELOCATED.
5. ILLUMINATION SHALL BE PER CITY STANDARD, NOT SHOWN THESE SHEETS.
6. STANDARD BIKE WAYFINDING SIGNAGE TO BE INCLUDED AS NECESSARY.

LEGEND:

- MILL & OVERLAY ASPHALT CONC PVMT
- ASPHALT RAMP
- LANDSCAPING
- CEMENT CONCRETE SIDEWALK
- TRAFFIC CURB AND GUTTER
- GRAVEL EDGE
- PAVEMENT STRIPING
- SAWCUT
- TEMPORARY EASEMENT
- STOP BAR
- CROSSWALK STRIPES
- BIKE LANE SHARROW
- BICYCLE SHARROW SYMBOL
- TRAFFIC SEPARATOR CURB
- LUMINAIRE

DRAFT
PRINT

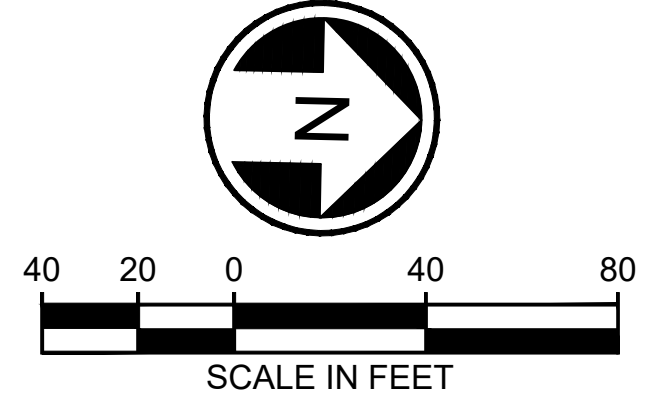
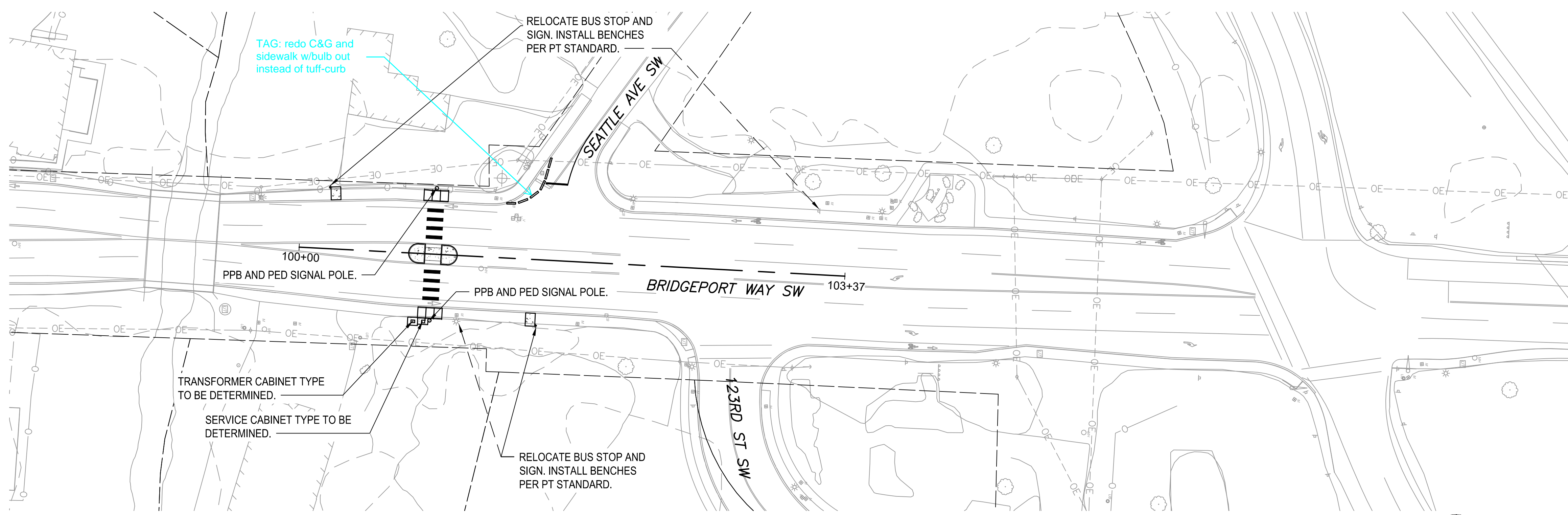


AHJ: LIST AHJS		PACKAGE # ### DESCRIPTION		LAKWOOD STATION ACCESS IMPROVEMENTS PHASE 2 CIVIL ##### CITY OF LAKEWOOD		DRAWING No.: 10-CRP007 FACILITY ID: X## SHEET No.: # REV: ---	
DESIGNED BY:	#####				SCALE:	1"=40'	
DRAWN BY:	B. WILLIAMS				FILENAME:	LWRA-10-CRP006-010	
CHECKED BY:	R. PARKER				CONTRACT No.:	RTA/LR ----	
APPROVED BY:	B. AGAN				DATE:	03/09/2023	
SUBMITTED BY:	T. GONZALES	DATE:	3/9/2023	REVIEWED BY:	K YOUSSEF	DATE:	H

03/10/23 | 1:52 PM | MAYBET

No.	DATE	DSN	CHK	APP	REVISION

Xrefs:
 RLE-QB-TB22x34
 XLWRA-VR001
 LWRA-GEN-SHTNOTES
 XLWRA-VSP001
 XLWRA-VOP001
 XLWRA-15-CRP150
 XLWRA-5-CRP050
 XLWRA-20-CRP200
 LWRA-10-CRP006-010



- CONSTRUCTION NOTES:**
1. INSTALL CEMENT CONCRETE CURB AND GUTTER PER CITY OF LAKEWOOD STD PLAN SR-04.
 2. INSTALL CEMENT CONCRETE SIDEWALK PER CITY OF LAKEWOOD STD PLAN FR-03.
 3. INSTALL CEMENT CONCRETE CURB RAMP PER CURB RAMP PLANS.
 4. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE "3" PER WSDOT STD PLAN F-80.10-04.
 5. INSTALL PLANTER STRIP.
 6. INSTALL RETAINING WALL.
 7. INSTALL PEDESTRIAN HANDRAIL FOR FALL PROTECTION.
 8. INSTALL FULL DEPTH HMA ROADWAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
 9. INSTALL HMA OVERLAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
 10. INSTALL PERPENDICULAR CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.15-04.
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 12. INSTALL SINGLE DIRECTION CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.16-03.
 13. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.
 14. INSTALL COMBINATION CURB RAMP TYPE PER WSDOT STD PLAN F-40.14-03.
 15. INSTALL HMA WEDGE CURB, PER CITY OF LAKEWOOD STD PLAN FR-04.

- GENERAL NOTES:**
1. SEE DRAWING NOS. 052-GZN001 - 052-GZN003 FOR CITY OF LAKEWOOD AND SOUND TRANSIT GENERAL NOTES.
 2. REPLACE ALL EXISTING UTILITY LIDS WITHIN BICYCLE AND PEDESTRIAN FACILITIES WITH ANTI SLIP LID.
 3. CENTERLINE ALIGNMENTS GENERATED BY GIS RIGHT-OF-WAY LINES, NO FIELD SURVEY WAS CONDUCTED TO VERIFY ALIGNMENTS.
 4. MAILBOXES IN CONFLICT WITH WORK TO BE RELOCATED.
 5. ILLUMINATION SHALL BE PER CITY STANDARD, NOT SHOWN THESE SHEETS.
 6. STANDARD BIKE WAYFINDING SIGNAGE TO BE INCLUDED AS NECESSARY.

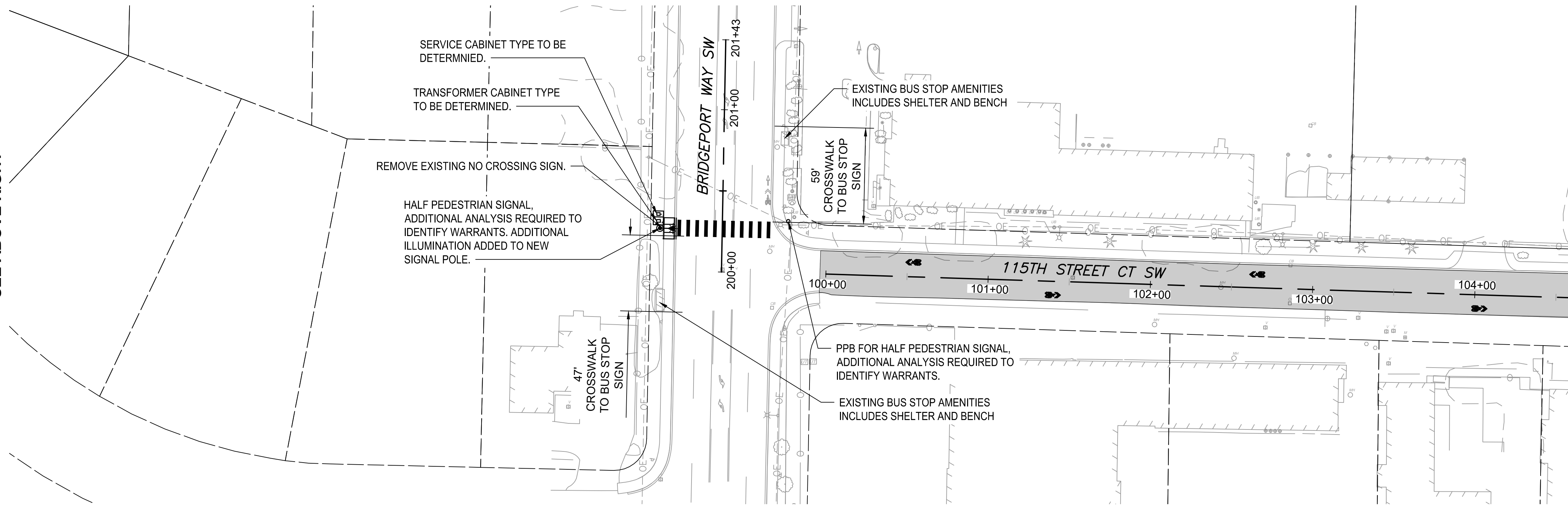
LEGEND:

- MILL & OVERLAY ASPHALT CONC PVMT
- ASPHALT RAMP
- LANDSCAPING
- CEMENT CONCRETE SIDEWALK
- TRAFFIC CURB AND GUTTER
- GRAVEL EDGE
- PAVEMENT STRIPING
- SAWCUT
- TEMPORARY EASEMENT
- STOP BAR
- CROSSWALK STRIPES
- BIKE LANE SHARROW
- BICYCLE SHARROW SYMBOL
- TRAFFIC SEPARATOR CURB
- LUMINAIRE

DRAFT PRINT

SCALE IN FEET

40 20 0 40 80



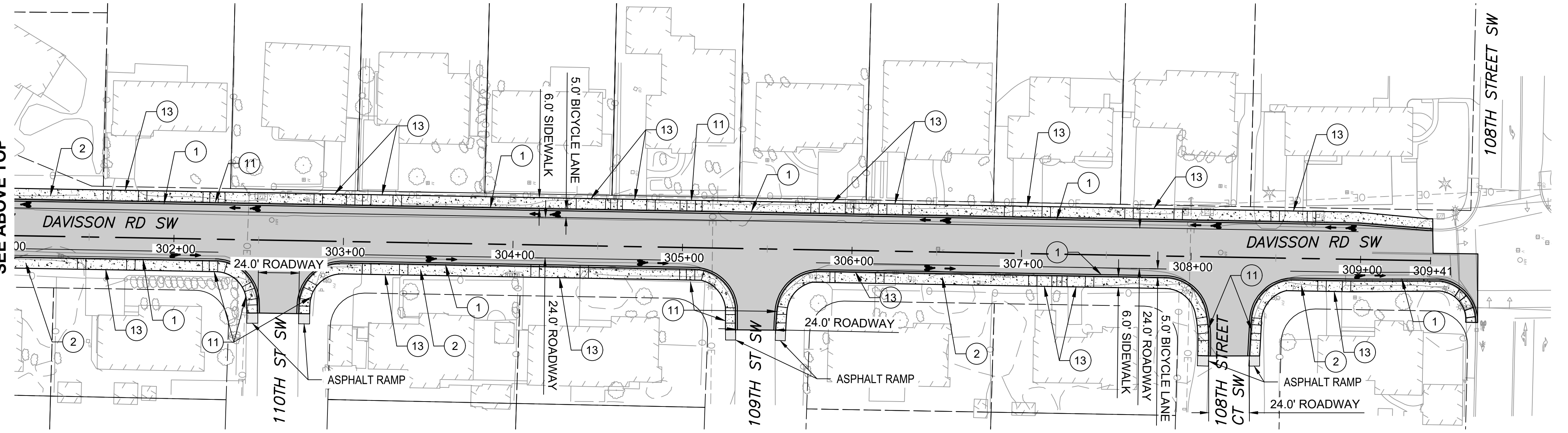
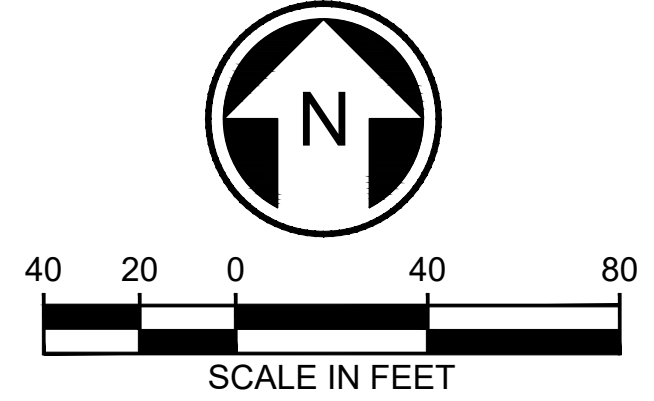
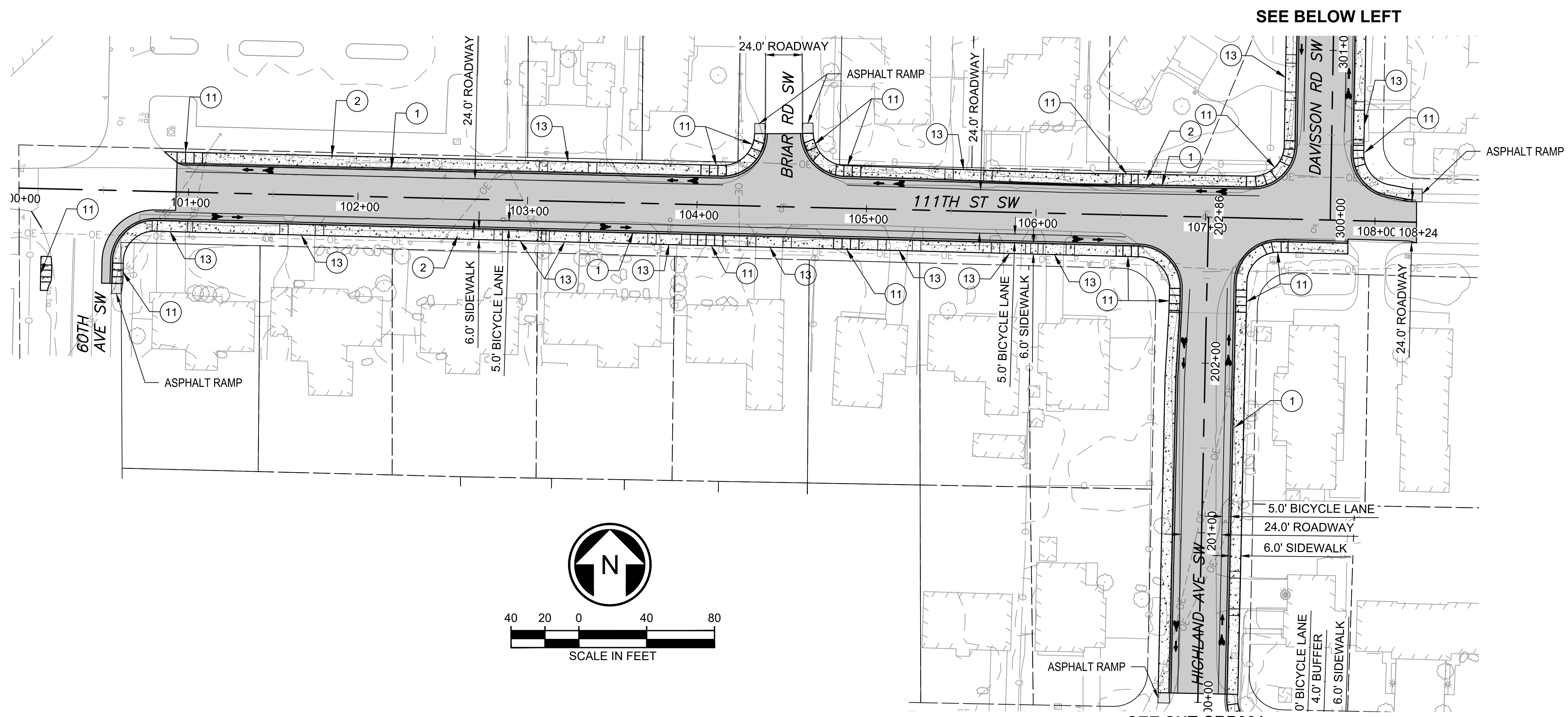
03/10/23 | 2:04 PM | MAYBET
 U:\PROJECTS\CLIENTS\3012-DEA\554-3012-049 LAKEWOOD STATION\PH02\989\SC\ADD\DWG\LWRA-20-CRP016-017.DWG

SEE ABOVE RIGHT

AHJ: LIST AHJS		PACKAGE # ### DESCRIPTION					
DESIGNED BY: #####	 Parametrix ENGINEERING · PLANNING · ENVIRONMENTAL SCIENCES 2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	 DAVID EVANS AND ASSOCIATES INC. 2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	 SOUND TRANSIT				
DRAWN BY: B. WILLIAMS				SCALE: 1"=40'	LAKEWOOD STATION ACCESS IMPROVEMENTS PHASE 2 CIVIL BRIDGEPORT WAY SW NON MOTORIZED CROSSINGS CITY OF LAKEWOOD		
CHECKED BY: R. PARKER				FILENAME: LWRA-20-CRP016-017		DRAWING No.: 20-CRP017	
APPROVED BY: B. AGAN				CONTRACT No.: RTA/LR ----		FACILITY ID: X##	
No.	DATE	DSN	CHK	APP	REVISION	SHEET No.:	REV:
						#	----

Xrefs:
 RLE-QB-TB22+34
 XLWRA-VR001
 LWRA-GEN-SHTNOTES
 XLWRA-VSP001
 XLWRA-5-CRP005

03/10/23 | 3:50 PM | OGDENSEPE
 \\PARAMETRIX.COM\PMX\PROJECTS\Clients\012-DEA554-3012-049 LAKEWOODSTATION\PH02\985\CS\CADD\DWG\LWRA-05-CRP001-005.DWG



SEE ABOVE TOP

SEE BELOW LEFT

SEE SHT CRP001

CONSTRUCTION NOTES:

- 1 INSTALL CEMENT CONCRETE CURB AND GUTTER PER CITY OF LAKEWOOD STD PLAN SR-04.
- 2 INSTALL CEMENT CONCRETE SIDEWALK PER CITY OF LAKEWOOD STD PLAN FR-03.
- 3 INSTALL CEMENT CONCRETE CURB RAMP PER CURB RAMP PLANS.
- 4 INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE "3" PER WSDOT STD PLAN F-80.10-04.
- 5 INSTALL PLANTER STRIP.
- 6 INSTALL RETAINING WALL.
- 7 INSTALL PEDESTRIAN HANDRAIL FOR FALL PROTECTION.
- 8 INSTALL FULL DEPTH HMA ROADWAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
- 9 INSTALL HMA OVERLAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
- 10 INSTALL PERPENDICULAR CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.15-04.
- 11 INSTALL PARALLEL CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.12-03.
- 12 INSTALL SINGLE DIRECTION CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.16-03.
- 13 INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.
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- 15 INSTALL HMA WEDGE CURB, PER CITY OF LAKEWOOD STD PLAN FR-04.

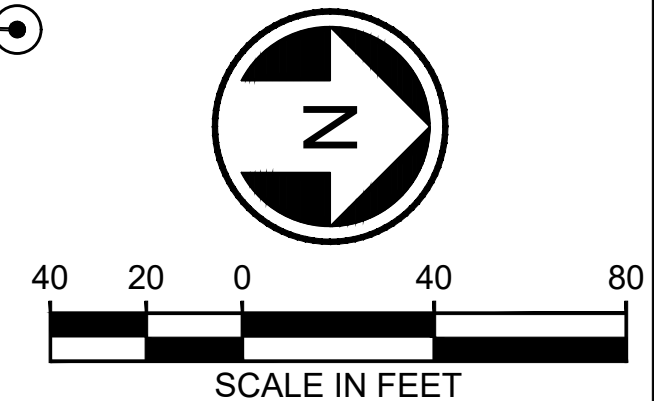
GENERAL NOTES:

1. SEE DRAWING NOS. 052-GZN001 - 052-GZN003 FOR CITY OF LAKEWOOD AND SOUND TRANSIT GENERAL NOTES.
2. REPLACE ALL EXISTING UTILITY LIDS WITHIN BICYCLE AND PEDESTRIAN FACILITIES WITH ANTI SLIP LID.
3. CENTERLINE ALIGNMENTS GENERATED BY GIS RIGHT-OF-WAY LINES, NO FIELD SURVEY WAS CONDUCTED TO VERIFY ALIGNMENTS.
4. MAILBOXES IN CONFLICT WITH WORK TO BE RELOCATED.
5. ILLUMINATION SHALL BE PER CITY STANDARD, NOT SHOWN THESE SHEETS.
6. STANDARD BIKE WAYFINDING SIGNAGE TO BE INCLUDED AS NECESSARY.

LEGEND:

- MILL & OVERLAY ASPHALT CONC PVMT
- ASPHALT RAMP
- LANDSCAPING
- CEMENT CONCRETE SIDEWALK
- TRAFFIC CURB AND GUTTER
- GRAVEL EDGE
- PAVEMENT STRIPING
- SAWCUT
- TEMPORARY EASEMENT
- STOP BAR
- CROSSWALK STRIPES
- BIKE LANE SHARROW
- BICYCLE SHARROW SYMBOL
- TRAFFIC SEPARATOR CURB
- LUMINAIRE

**DRAFT
PRINT**



AHJ: LIST AHJS		PACKAGE # ### DESCRIPTION	
DESIGNED BY: #####		SCALE: 1"=40'	LAKESWOOD STATION ACCESS IMPROVEMENTS PHASE 2
DRAWN BY: B. WILLIAMS		FILENAME: LWRA-05-CRP001-005	CIVIL
CHECKED BY: R. PARKER		CONTRACT No.: RTA/LR ----	111TH ST, HIGHLAND AVE AND DAVISSON RD SW CITY OF LAKEWOOD
APPROVED BY: B. AGAN		DATE: 03/10/2023	DRAWING No.: 05-CRP002
SUBMITTED BY: T. GONZALES	DATE: 3/10/2023	REVIEWED BY: K YOUSSEF	DATE: H
No.	DATE	DSN	CHK
APP	REVISION		
SHEET No.: #		REV: ----	

Xrefs:
 RLE-QB-TB22x34
 LWRA-VR001
 LWRA-GEN-SHTNOTES
 XLWRA-VSP001
 XLWRA-VOP001
 XLWRA-15-CRP150
 XLWRA-5-CRP050

NEEDS AREA
 OUTLINE AND TO
 SAY SEE PROJECT
 A14

SEE PROJECT A36
 - ADD OUTLINE

SEE PROJECT A36
 - ADD OUTLINE

SEE PROJECT A35
 - ADD OUTLINE

SEE PROJECT A35
 - ADD OUTLINE

SEE PROJECT A37
 - ADD OUTLINE

CONSTRUCTION NOTES:

1. INSTALL CEMENT CONCRETE CURB AND GUTTER PER CITY OF LAKEWOOD STD PLAN SR-04.
2. INSTALL CEMENT CONCRETE SIDEWALK PER CITY OF LAKEWOOD STD PLAN FR-03.
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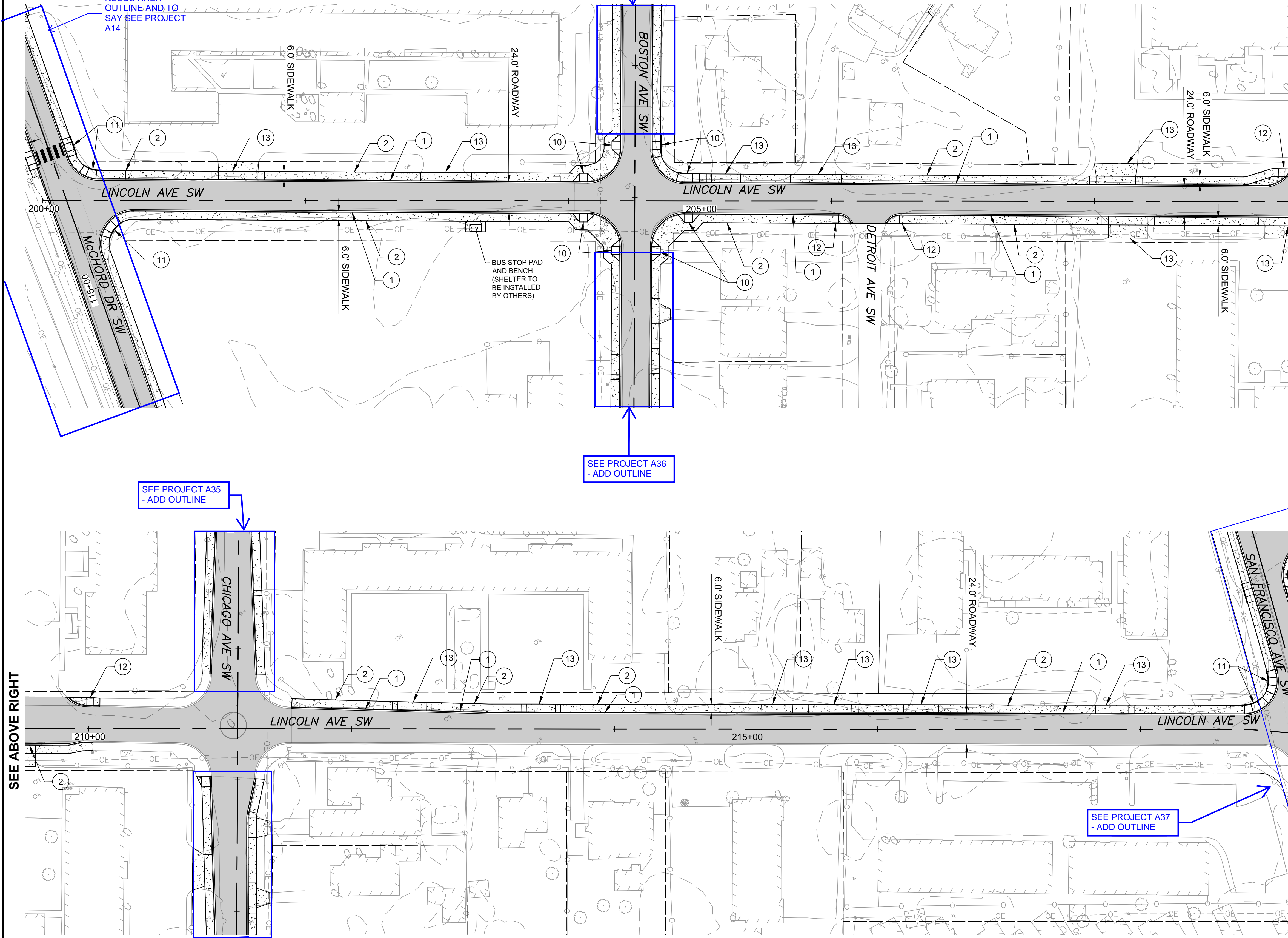
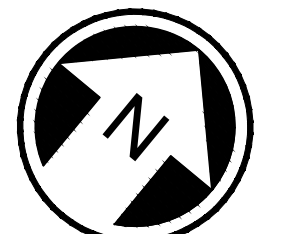
GENERAL NOTES:

1. SEE DRAWING NOS. 052-GZN001 - 052-GZN003 FOR CITY OF LAKEWOOD AND SOUND TRANSIT GENERAL NOTES.
2. REPLACE ALL EXISTING UTILITY LIDS WITHIN BICYCLE AND PEDESTRIAN FACILITIES WITH ANTI SLIP LID.
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LEGEND:

- MILL & OVERLAY ASPHALT CONC PVMT
- ASPHALT RAMP
- LANDSCAPING
- CEMENT CONCRETE SIDEWALK
- TRAFFIC CURB AND GUTTER
- GRAVEL EDGE
- PAVEMENT STRIPING
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- TEMPORARY EASEMENT
- STOP BAR
- CROSSWALK STRIPES
- BIKE LANE SHARROW
- BICYCLE SHARROW SYMBOL
- TRAFFIC SEPARATOR CURB
- LUMINAIRE

**DRAFT
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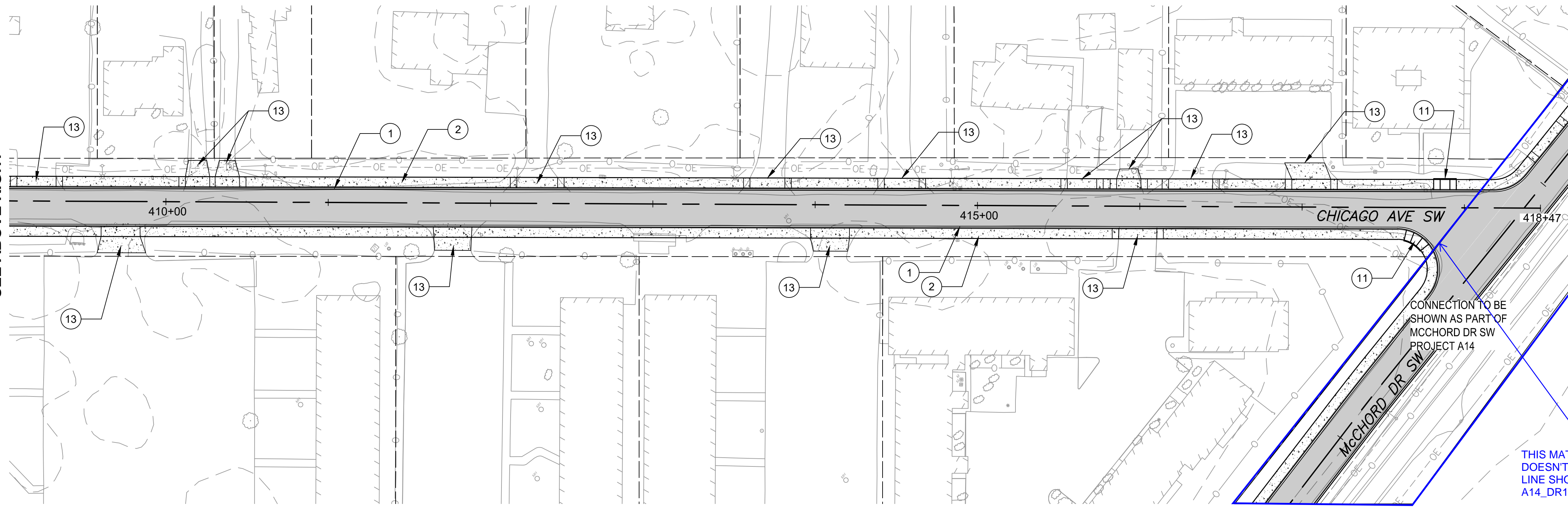
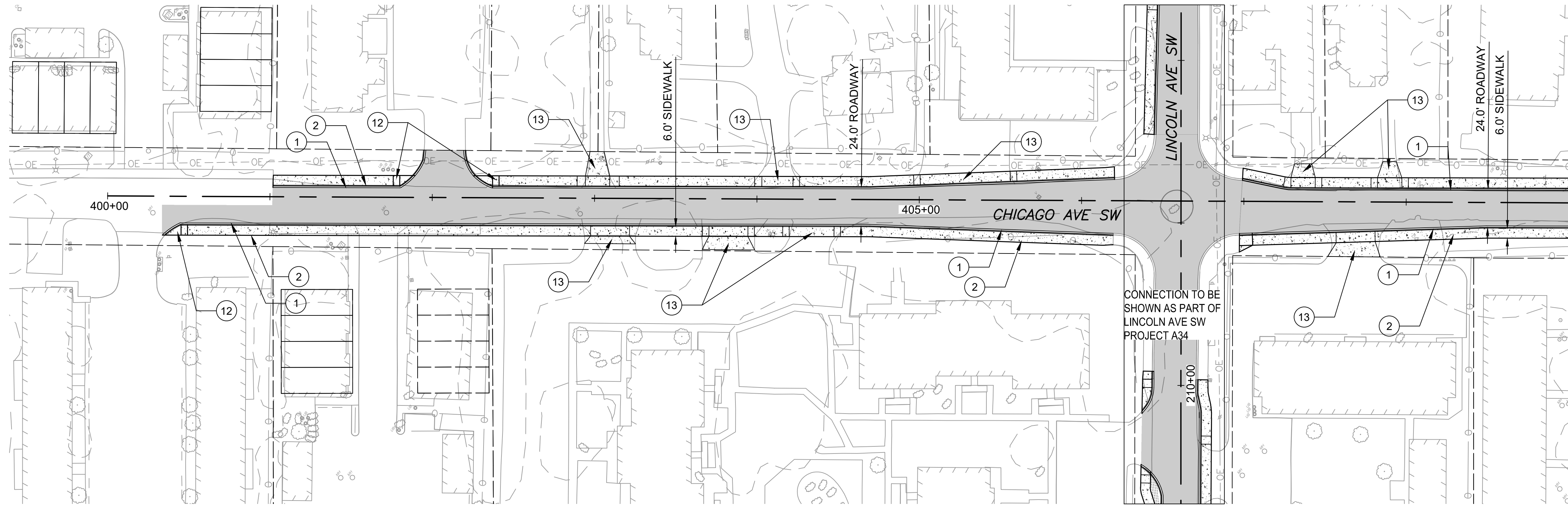


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AHJ: LIST AHJS		PACKAGE # ### DESCRIPTION	
DESIGNED BY: #####			
DRAWN BY: B. WILLIAMS	2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781
CHECKED BY: R. PARKER	SUBMITTED BY: T. GONZALES	DATE: 3/13/2023	REVIEWED BY: K YOUSSEF
APPROVED BY: B. AGAN	DATE: 3/13/2023	DATE: 3/13/2023	DATE: 3/13/2023
		LAKESWOOD STATION ACCESS IMPROVEMENTS PHASE 2	
		CIVIL LINCOLN AVE SW CITY OF LAKEWOOD	
		DRAWING No.: 15-CRP014	
		FACILITY ID: X##	
		SHEET No.: #	
		REV: ---	

No.	DATE	DSN	CHK	APP	REVISION

Xrefs:
 RLE-QB-TB22x34
 XLWRA-VRX001
 LWRA-GEN-SHTNOTES
 XLWRA-VSFP001
 XLWRA-VOP001
 XLWRA-15-CRP150
 XLWRA-5-CRP050



- CONSTRUCTION NOTES:**
1. INSTALL CEMENT CONCRETE CURB AND GUTTER PER CITY OF LAKEWOOD STD PLAN SR-04.
 2. INSTALL CEMENT CONCRETE SIDEWALK PER CITY OF LAKEWOOD STD PLAN FR-03.
 3. INSTALL CEMENT CONCRETE CURB RAMP PER CURB RAMP PLANS.
 4. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE "3" PER WSDOT STD PLAN F-80.10-04.
 5. INSTALL PLANTER STRIP.
 6. INSTALL RETAINING WALL.
 7. INSTALL PEDESTRIAN HANDRAIL FOR FALL PROTECTION.
 8. INSTALL FULL DEPTH HMA ROADWAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
 9. INSTALL HMA OVERLAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
 10. INSTALL PERPENDICULAR CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.15-04.
 11. INSTALL PARALLEL CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.12-03.
 12. INSTALL SINGLE DIRECTION CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.16-03.
 13. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.
 14. INSTALL COMBINATION CURB RAMP TYPE PER WSDOT STD PLAN F-40.14-03.
 15. INSTALL HMA WEDGE CURB, PER CITY OF LAKEWOOD STD PLAN FR-04.
- GENERAL NOTES:**
1. SEE DRAWING NOS. 052-GZN001 - 052-GZN003 FOR CITY OF LAKEWOOD AND SOUND TRANSIT GENERAL NOTES.
 2. REPLACE ALL EXISTING UTILITY LIDS WITHIN BICYCLE AND PEDESTRIAN FACILITIES WITH ANTI SLIP LID.
 3. CENTERLINE ALIGNMENTS GENERATED BY GIS RIGHT-OF-WAY LINES, NO FIELD SURVEY WAS CONDUCTED TO VERIFY ALIGNMENTS.
 4. MAILBOXES IN CONFLICT WITH WORK TO BE RELOCATED.
 5. ILLUMINATION SHALL BE PER CITY STANDARD, NOT SHOWN THESE SHEETS.
 6. STANDARD BIKE WAYFINDING SIGNAGE TO BE INCLUDED AS NECESSARY.

LEGEND:

- MILL & OVERLAY ASPHALT CONC PVMT
- ASPHALT RAMP
- LANDSCAPING
- CEMENT CONCRETE SIDEWALK
- TRAFFIC CURB AND GUTTER
- GRAVEL EDGE
- PAVEMENT STRIPING
- SAWCUT
- TEMPORARY EASEMENT
- STOP BAR
- CROSSWALK STRIPES
- BIKE LANE SHARROW
- BICYCLE SHARROW SYMBOL
- TRAFFIC SEPARATOR CURB
- LUMINAIRE

DRAFT PRINT

THIS MATCH LINE DOESN'T MATCH LINE SHOWN ON A14_DR1

SCALE IN FEET

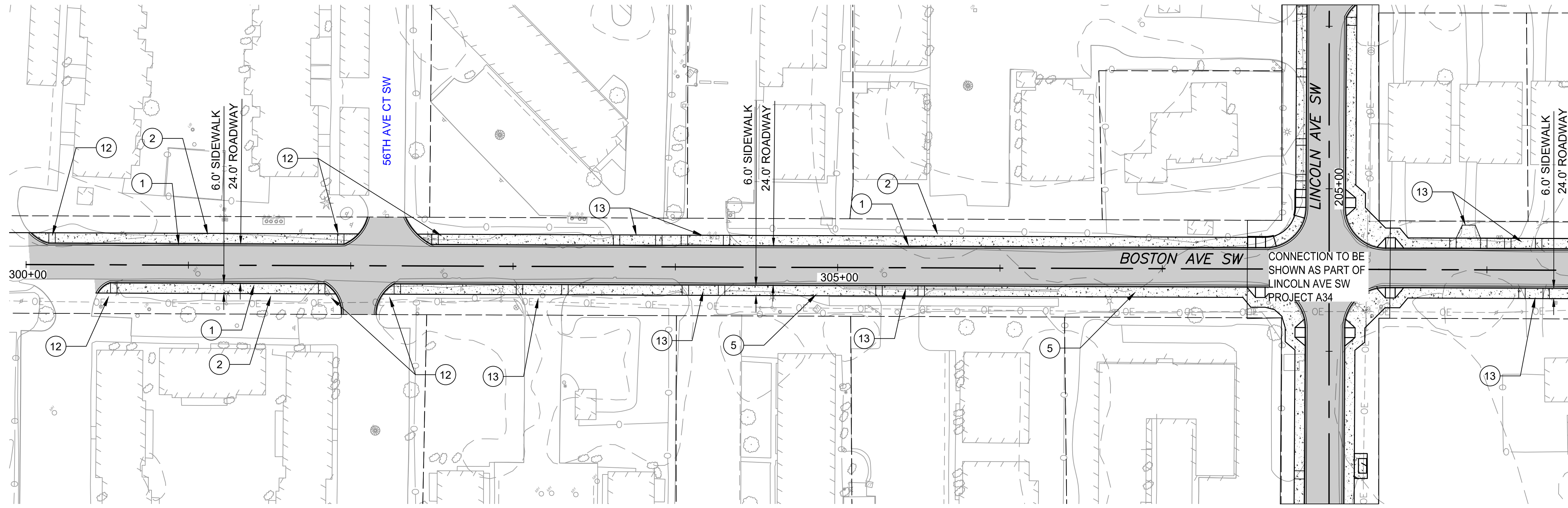
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No.	DATE	DSN	CHK	APP	REVISION

DESIGNED BY: #####
DRAWN BY: B. WILLIAMS
CHECKED BY: R. PARKER
APPROVED BY: B. AGAN

AHJ: LIST AHJS		PACKAGE # ### DESCRIPTION	
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SUBMITTED BY: T. GONZALES	DATE: 3/13/2023	REVIEWED BY: K YOUSSEF	DRAWING No.: 15-CRP012 FACILITY ID: X## SHEET No.: # REV: ----

Xrefs:
 RLE-QB-TB22x34
 XLWRA-VR001
 LWRA-GEN-SHTNOTES
 XLWRA-VSP001
 XLWRA-VOP001
 XLWRA-15-CRP150
 XLWRA-5-CRP050



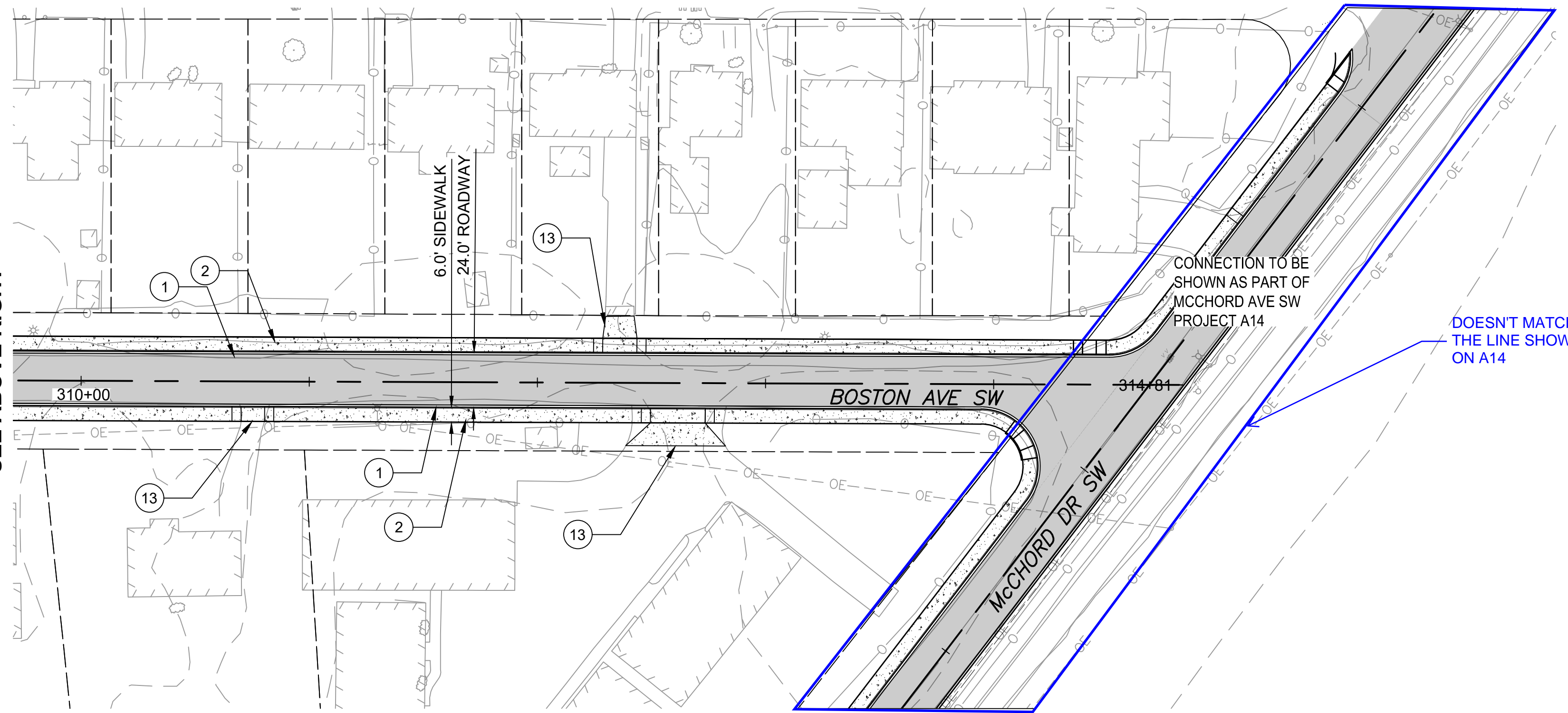
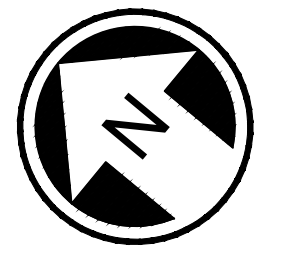
- CONSTRUCTION NOTES:**
1. INSTALL CEMENT CONCRETE CURB AND GUTTER PER CITY OF LAKEWOOD STD PLAN SR-04.
 2. INSTALL CEMENT CONCRETE SIDEWALK PER CITY OF LAKEWOOD STD PLAN FR-03.
 3. INSTALL CEMENT CONCRETE CURB RAMP PER CURB RAMP PLANS.
 4. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE "3" PER WSDOT STD PLAN F-80.10-04.
 5. INSTALL PLANTER STRIP.
 6. INSTALL RETAINING WALL.
 7. INSTALL PEDESTRIAN HANDRAIL FOR FALL PROTECTION.
 8. INSTALL FULL DEPTH HMA ROADWAY PAVEMENT PER TYPICAL SECTION DRAWINGS.
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 10. INSTALL PERPENDICULAR CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.15-04.
 11. INSTALL PARALLEL CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.12-03.
 12. INSTALL SINGLE DIRECTION CURB RAMP TYPE 'A', PER WSDOT STD PLAN F-40.16-03.
 13. INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.
 14. INSTALL COMBINATION CURB RAMP TYPE PER WSDOT STD PLAN F-40.14-03.
 15. INSTALL HMA WEDGE CURB, PER CITY OF LAKEWOOD STD PLAN FR-04.

- GENERAL NOTES:**
1. SEE DRAWING NOS. 052-GZN001 - 052-GZN003 FOR CITY OF LAKEWOOD AND SOUND TRANSIT GENERAL NOTES.
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 6. STANDARD BIKE WAYFINDING SIGNAGE TO BE INCLUDED AS NECESSARY.

LEGEND:

MILL & OVERLAY ASPHALT CONC PVMT	
ASPHALT RAMP	
LANDSCAPING	
CEMENT CONCRETE SIDEWALK	
TRAFFIC CURB AND GUTTER	
GRAVEL EDGE	
PAVEMENT STRIPING	
SAWCUT	
TEMPORARY EASEMENT	
STOP BAR	
CROSSWALK STRIPES	
BIKE LANE SHARROW	
BICYCLE SHARROW SYMBOL	
TRAFFIC SEPARATOR CURB	
LUMINAIRE	

**DRAFT
PRINT**



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No.	DATE	DSN	CHK	APP	REVISION

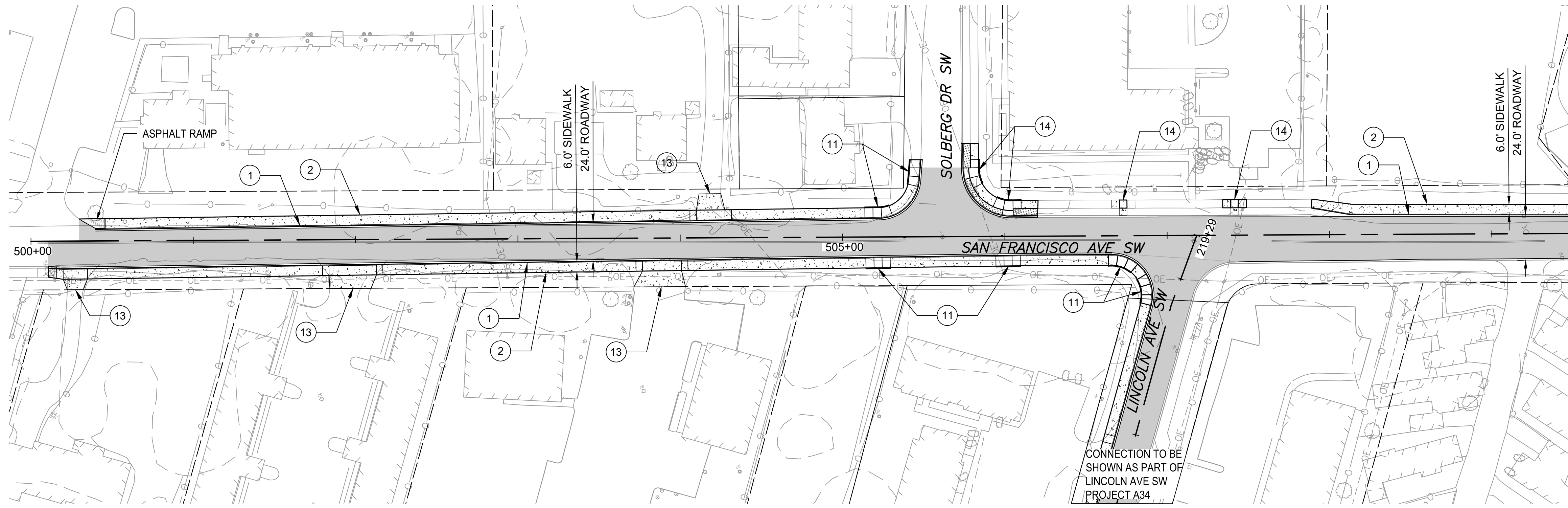
DESIGNED BY:	#####
DRAWN BY:	B. WILLIAMS
CHECKED BY:	R. PARKER
APPROVED BY:	B. AGAN

AHJ: LIST AHJS

 ENGINEERING · PLANNING · ENVIRONMENTAL SCIENCES	 2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	
SUBMITTED BY:	DATE:	REVIEWED BY:
T. GONZALES	3/10/2023	K YOUSSEF

PACKAGE # ### DESCRIPTION SCALE: 1"=40' FILENAME: LWRA-15-CRP011-015 CONTRACT No.: RTA/LR ---- DATE: 03/10/2023	LAKEWOOD STATION ACCESS IMPROVEMENTS PHASE 2 CIVIL BOSTON AVE SW CITY OF LAKEWOOD	DRAWING No.: 15-CRP011 FACILITY ID: X## SHEET No.: # REV: ----
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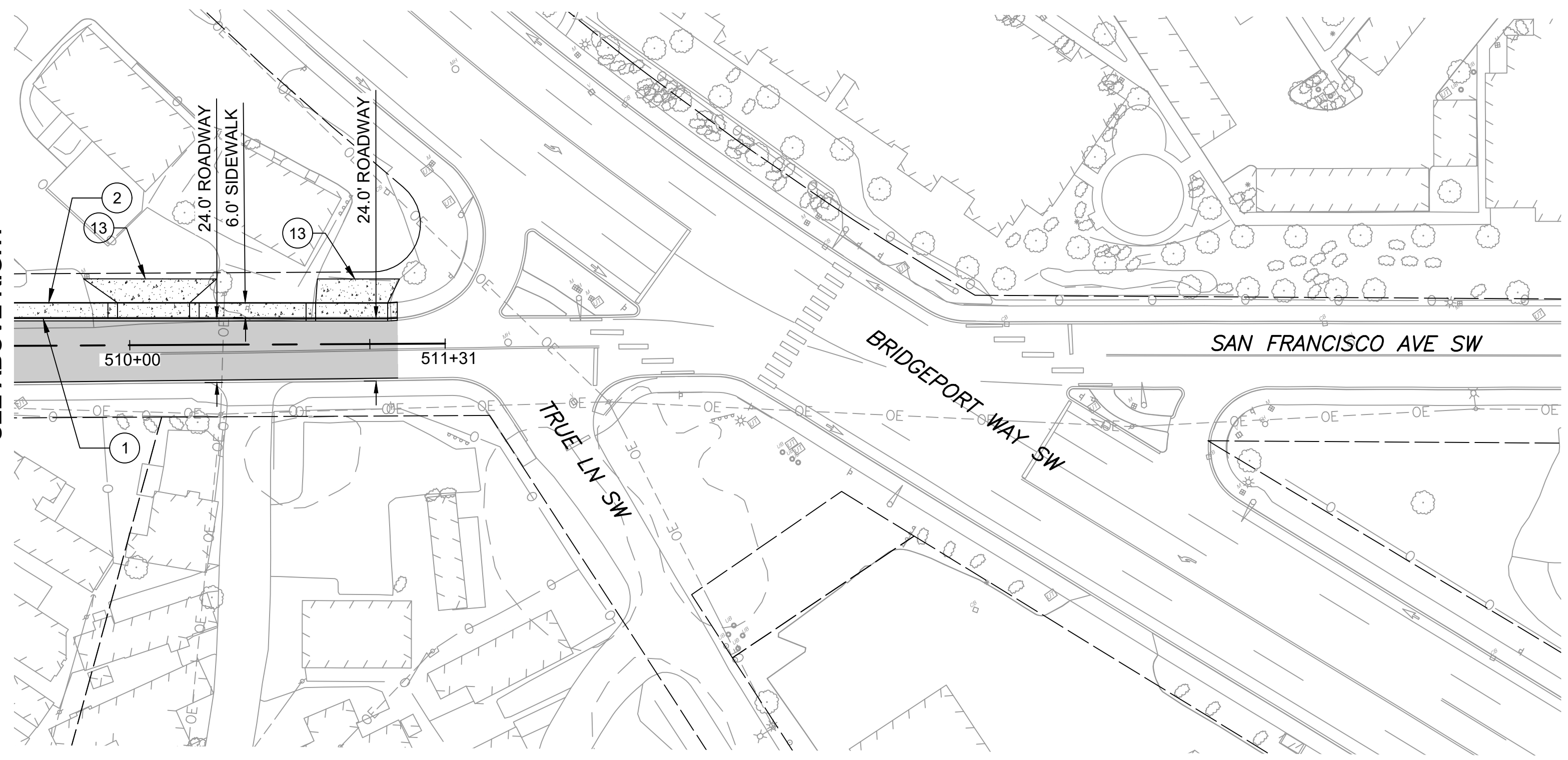
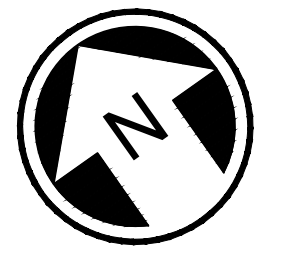
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 XLWRA-VR001
 LWRA-GEN-SHTNOTES
 XLWRA-VSP001
 XLWRA-VOP001
 XLWRA-15-CRP150
 XLWRA-5-CRP050



- CONSTRUCTION NOTES:**
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- MILL & OVERLAY ASPHALT CONC PVMT
 - ASPHALT RAMP
 - LANDSCAPING
 - CEMENT CONCRETE SIDEWALK
 - TRAFFIC CURB AND GUTTER
 - GRAVEL EDGE
 - PAVEMENT STRIPING
 - SAWCUT
 - TEMPORARY EASEMENT
 - STOP BAR
 - CROSSWALK STRIPES
 - BIKE LANE SHARROW
 - BICYCLE SHARROW SYMBOL
 - TRAFFIC SEPARATOR CURB
 - LUMINAIRE

**DRAFT
PRINT**



SEE ABOVE RIGHT

SEE BELOW LEFT

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AHJ: LIST AHJS		PACKAGE # ### DESCRIPTION					
DESIGNED BY: #####	 Parametrix ENGINEERING · PLANNING · ENVIRONMENTAL SCIENCES 2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	 DAVID EVANS AND ASSOCIATES INC. 2106 Pacific Ave East Suite 400 Tacoma Washington 98424 Phone: 253.922.9781	 SOUND TRANSIT				
DRAWN BY: B. WILLIAMS				SCALE: 1"=40'	LAKEWOOD STATION ACCESS IMPROVEMENTS PHASE 2 CIVIL SAN FRANCISCO AVE SW CITY OF LAKEWOOD		
CHECKED BY: R. PARKER				FILENAME: LWRA-15-CRP011-015		DRAWING No.: 15-CRP013	
APPROVED BY: B. AGAN				CONTRACT No.: RTA/LR ----		FACILITY ID: X##	
No.	DATE	DSN	CHK	APP	REVISION	SHEET No.:	REV:
						#	----

Xrefs:
 xLWRA-10-CRP100
 xLWRA-SW-RAMP
 xLWRA-VSP001
 xLWRA-VRK001
 LWRA-GEN-SHTNOTES
 RLE-GB-TB22x34
 PS3012503Lakewood-DE
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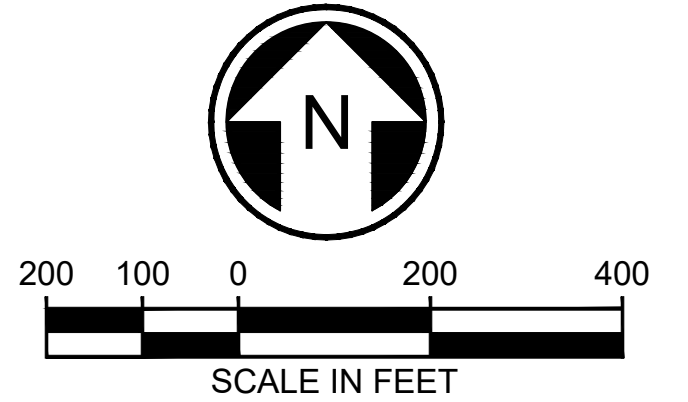
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- NOTES:**
- ADA RAMP/DRIVEWAY UPDATES IDENTIFIED THROUGH GOOGLE EARTH IMAGES AND EXCLUDES ADA RAMP/DRIVEWAYS TO BE INCLUDED ON OTHER SOUNDER ACCESS PROJECTS.
 - TOTALS
 UPDATE RAMPS: 0
 UPDATE DRIVEWAYS: 4

- GENERAL NOTES:**
- INSTALL CEMENT CONCRETE DRIVEWAY ENTRANCE TYPE '1' PER WSDOT STD PLAN F-80.10-04.

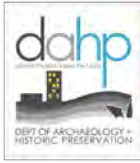
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AHJ: LIST AHJS		PACKAGE # ### DESCRIPTION					
DESIGNED BY: #####	 	SCALE: 1"=200'	LAKWOOD STATION ACCESS IMPROVEMENTS PHASE 2				
DRAWN BY: B. WILLIAMS		FILENAME: LWRA-BRIDGEPORT_ADA-CRP018		CIVIL			
CHECKED BY: R. PARKER		SUBMITTED BY: T. GONZALES	CONTRACT No.: RTA/LR ----	BRIDGEPORT WAY SW ADA IMPROVEMENTS			
APPROVED BY: B. AGAN		DATE: 3/9/2023	DATE: 03/09/2023	CITY OF LAKEWOOD			
No.	DATE	DSN	CHK	APP	REVISION	DRAWING No.:	20-CRP018
						FACILITY ID:	X##
						SHEET No.:	REV:
						#	----

Appendix C

Site Record



STATE OF WASHINGTON
ARCHAEOLOGICAL SITE INVENTORY FORM UPDATE

Smithsonian Number: 45PI767
County: Pierce

Date: 04/12/2023 Human Remains? No DAHP Case No.:
Compiled By: Matthew Warren
Archaeological Sites are exempt from public disclosure per RCW 42.56.300

SITE DESIGNATION

Site Name: Old Pacific Highway/Lakeview Avenue

Field/ Temporary ID: Pt.Def - FS-01

Site Type: Historic Road

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for determination of eligibility meet the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the site

[] meets [] does not meet the National Register Criteria.

I recommend that this property be considered significant at the following level(s) of significance:

Criteria
Statement of Significance

Integrity

SHPO Determination
Eligibility Determined On
Determined By
SHPO Comments

SITE LOCATION

USGS Quad Map Name(s): Tacoma South (1994) 7.5 minute

T: 19N R: 2E Section: 1 Quarter Section(s): SE 1/4 of the SE 1/4 of the SW 1/4
T: 19N R: 2E Section: 12 Quarter Section(s): NE 1/4 of the NW 1/4

UTM: Zone 10 Easting 538,326 Northing 5,222,440 (north end);
Zone 10 Easting 538,321 Northing 5,222,364 (At rail crossing);
Zone 10 Easting 538,123 Northing 5,222,079 (southern end at Pacific Highway SW)

Latitude/Longitude: 47.1543°N, 122.4944°W (north end) Elevation (ft/m): 277ft AMSL
47.1537°N, 122.4945°W (47°, 9', 13.2" N; 122°, 29', 40.2" W) (At crossing)
47.1511°N, 122.4971°W (47°, 9', 4.0"N; 122°, 29', 49.7"W) (Southern end)

Drainage, Major: Clover Creek River Mile:
Aspect: 168.1 degrees or S Slope: 1.3%

Location Description (General to Specific): The northern boundary of the Old Lakeview Avenue historic road alignment is located south of the 90-degree bend in Lakeview SW where Lakeview Ave. becomes 111th Street SW in Lakeview, WA. The site continues south approximately 106.2 meters where it intersects the current Burlington Northern Santa Fe Rail Line then crosses the BNSF Line and proceeds approximately 314 meters southeast/parallel to the Rail and Pacific Highway SW to its terminus with Pacific Highway.

Directions (For Relocation Purposes): From Interstate 5 take the WA-512 East exit 127 to S Tacoma Way/Puyallup. Turn right at WA-512 and proceed to S Tacoma Way (0.2 miles [mi]) and turn left. Continue on South Tacoma Way, which becomes Pacific Hwy. SW, and proceed 0.2 mi to 108th St. SW. Turn right on 108th St. SW and proceed 0.4 mi to Lakeview Ave. SW. Turn left at Lakeview Ave. SW and proceed south to 90-degree turn where Lakeview Ave. SW becomes 111th St. SW. The site is located south of the 90-degree bend in Lakeview Ave. SW.

SITE DESCRIPTION
<p>Narrative Description Update: Most of historic road site 45PI767 has been largely removed since its initial documentation during the Point Defiance Bypass Project in 2007 (Chasteen et al. 2008; Cooper and Sparks 2007). Specifically, aerial imagery indicated that the portion of the road alignment south of the BNSF rail line was evidently removed during the construction of the Lakewood Station parking garage and adjacent associated land clearing, grading, and landscaping activities. During a cultural resources inventory conducted for Sound Transit's Lakewood Station Access Improvements Project, Historical Research Associates, Inc. (HRA) archaeologists confirmed that no material evidence of the road exists at ground surface south of the BNSF rail line. This southern portion of the former road alignment is presently characterized by a vacant grassy lot, landscaped terrain, newly paved access roads, and the Lakewood Station parking garage (Figure 1).</p>
<p>Revised Site Dimensions (Overall Site Dimensions): Length: 100 meters Direction: North/South Width: 11 meters Direction: East/West Depth: Unknown</p>
<p>Vegetation (<i>On Site</i>): Scotch broom, blackberry, sparse conifers</p>
<p>Local: N/A Regional: <i>Tsuga hetrophylla</i> Zone</p>
<p>Landforms (<i>On Site</i>): Urban development, existing roadway, rail-line, portion of larger Clover Creek floodplain</p>
<p>Local: Regional: Puget Sound lowlands</p>
<p>Water Resources (<i>Type</i>): Clover Creek Distance: 1500 meters Permanence: Perennial</p>
CULTURAL MATERIALS AND FEATURES
<p>Narrative Description (Specific Inventory Details): There are no visible identifiable/diagnostic markings.</p>
<p>Method of Collection: No collection</p>
<p>Location of Artifacts (<i>Temporary/Permanent</i>): N/A</p>
SITE AGE
<p>Component Type: Historic Dates: 1918–1928 Dating Method: Map documents Phase: Basis for Phase Designation:</p>

SITE RECORDERS

Observed by: Matthew Warren**Date Recorded:** March 6, 2023**Recorded by** (Professional Archaeologist): Matthew Warren**Organization:** Historical Research Associates, Inc**Phone Number:** 206-343-0226**Address:** 1904 Third Ave, Seattle, WA 98101**E-mail:** mwarren@hrassoc.com

SITE HISTORY

Previous Work: The site was originally recorded in 2007 (Cooper and Sparks 2007).

LAND OWNERSHIP

Owner: Burlington Northern Santa Fe Railroad**Address:****Parcel:**

RESEARCH REFERENCES

Items/Documents Used in Research:

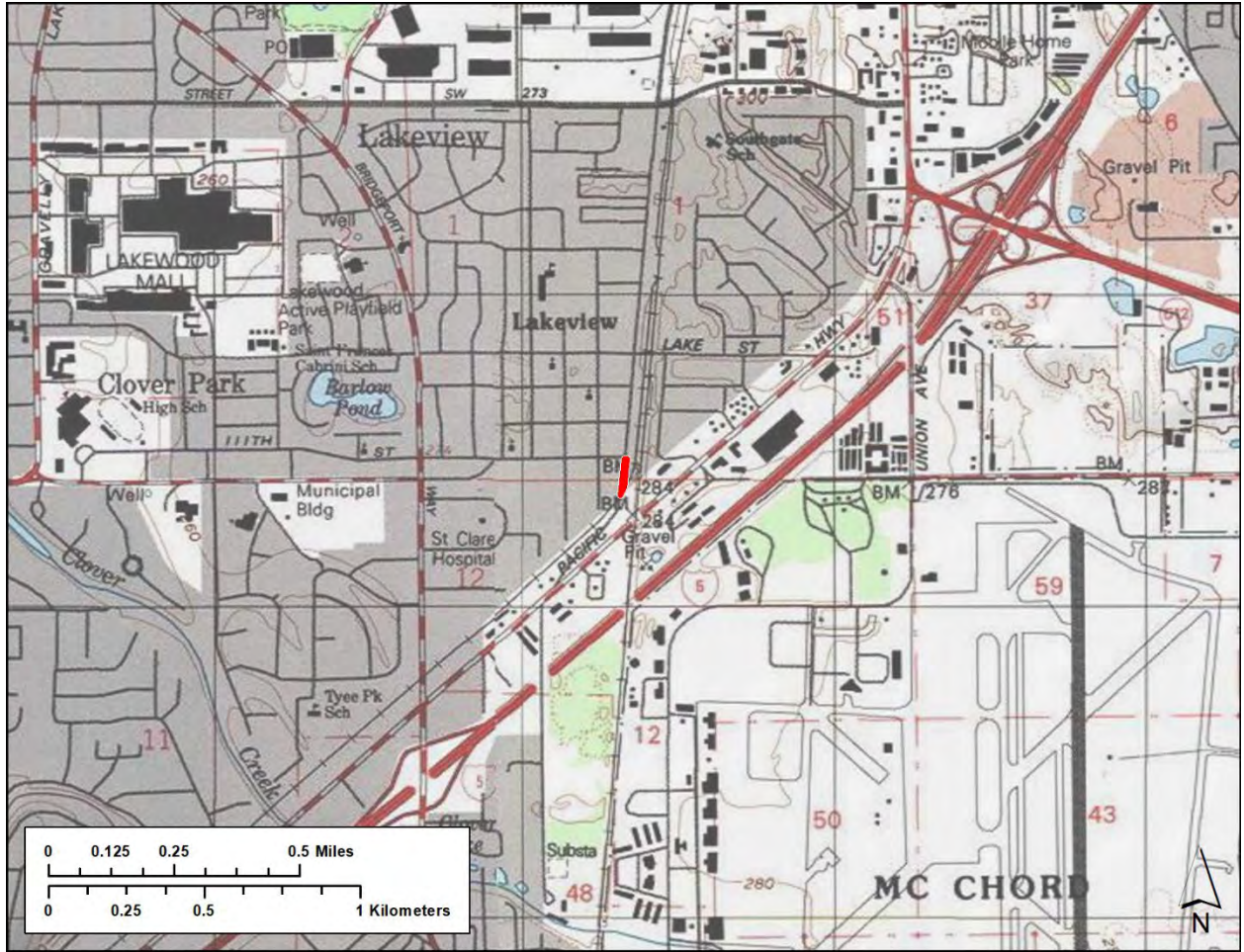
Chasteen, Carrie, Jason B. Cooper, and Shane Sparks


2008 Point Defiance Bypass Project: Final Cultural Resources Survey/Discipline Report. Jones & Stokes, Bellevue, Washington. Prepared for the Washington State Department of Transportation. On file at the Department of Archaeology and Historic Preservation, Olympia, Washington.

Cooper, Jason B., and Shane Sparks

2007 State of Washington Archaeological Site Inventory Form Update: 45PI1767. On file at the Department of Archaeology and Historic Preservation, Olympia, Washington.


USGS MAP



 Revised Site Boundary

45PI1767
Revised Site Location





 HISTORICAL RESEARCH ASSOCIATES, INC.		Date: 4/12/2023
Coord./Project	Datum	Scale
NAD 1983 UTM Zone 10N Transverse Mercator	NAD83	1:24,000
Township/Range	Quadrangle	
T19N R02E	Tacoma South, WA	
Historical Research Associates, Inc. Service Layer Credits: Copyright: © 2013 National Geographic Society, i-cubed National Geographic, Esri, Garmin, HERE, UNEP-WCMC, USGS, NASA, ESA, METI, NRCAN, GEBCO, NOAA, increment P Corp.		

SKETCH MAP



45PI767
Revised Site Boundary

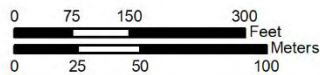
-  Removed Portion of Site
-  Revised Site Boundary

Aerial Overview
 Date: 4/12/2023



Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:3,000
Township/Range T19N R02E	Quadrangle Tacoma South, WA	

Service Layer Credits: Esri, HERE, Garmin, (c) OpenStreetMap contributors
 Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community



Photographs, Tables and Additional Information



Photo ID Figure 1

Title

Year Taken 2023

Is Circa?

Notes Overview of former site 45PI767 alignment in vacant lot northeast of Lakewood Station parking garage, view southwest.

Type

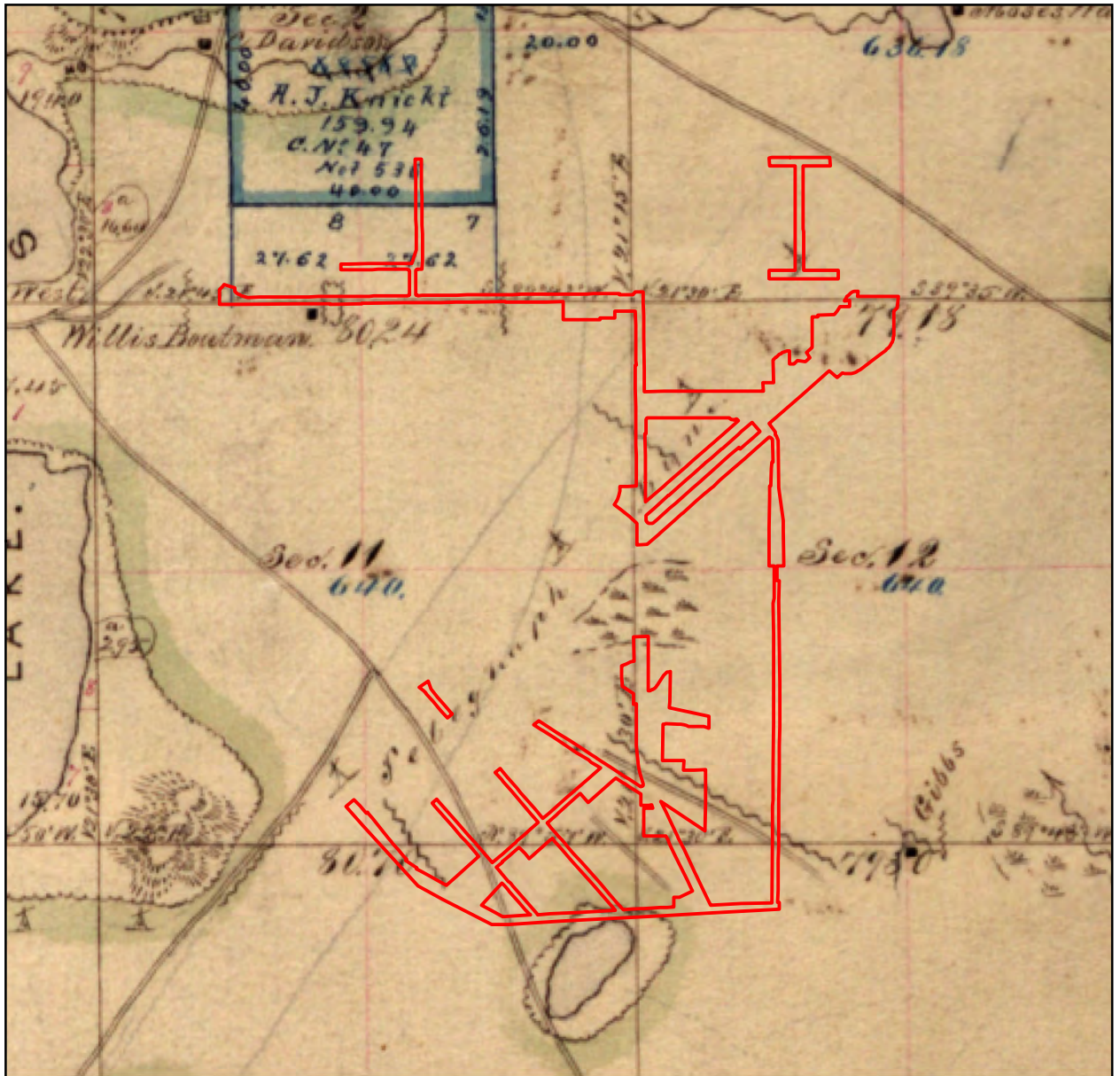
Photo View

Source


Copyright

Appendix D

Historic Maps



**Lakewood Station Access
Improvements Project Phase 2
Township No. 19 North
Range No. 2 East
Willamette Meridian**

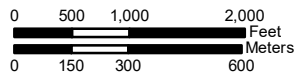
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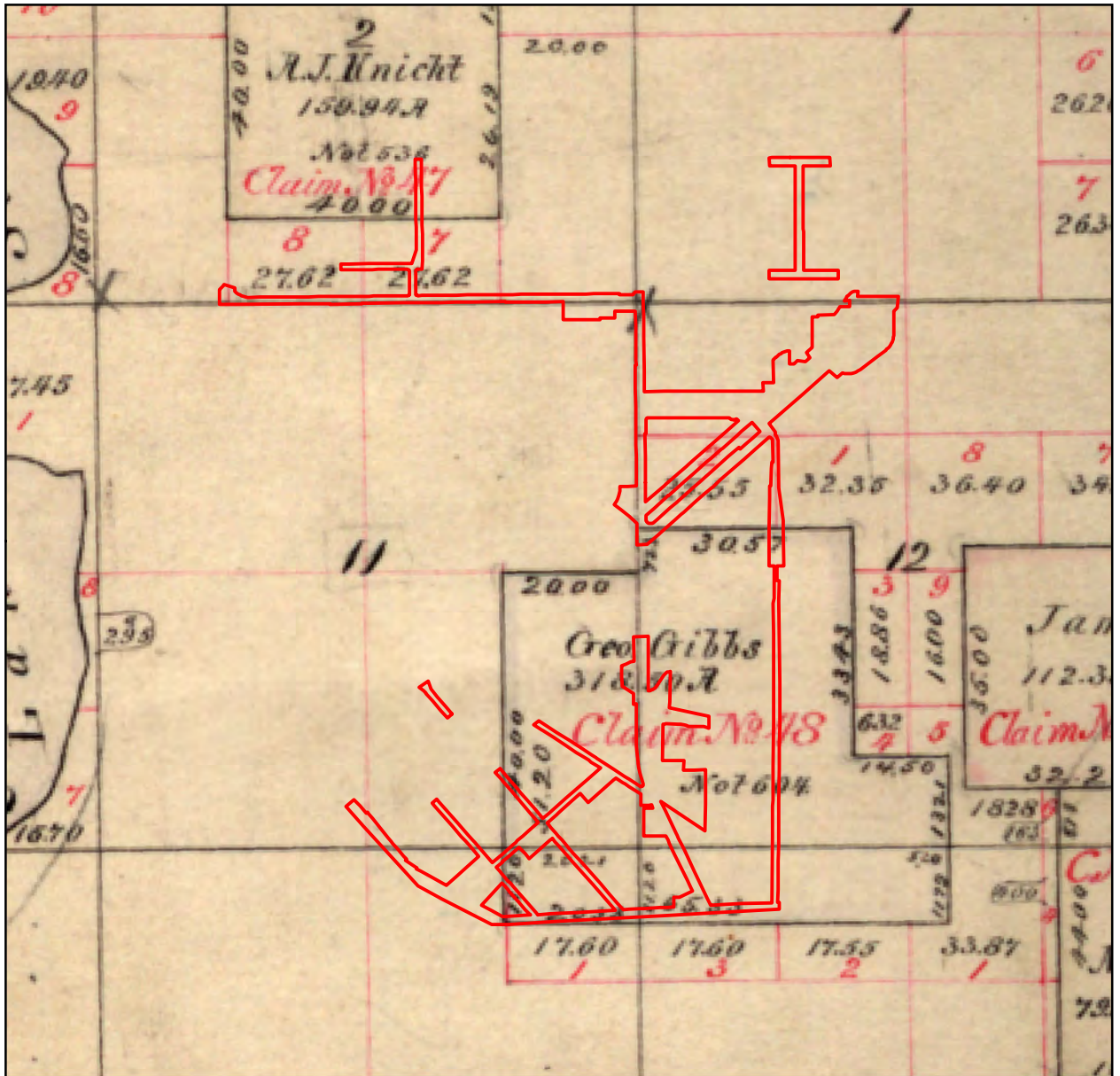
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Date: 7/13/2023**




Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:20,000
Township/Range T19N R02E	Quadrangle Steilacoom and Tacoma South, WA	

Service Layer Credits:





**Lakewood Station Access
Improvements Project Phase 2
T. No. 19 N. R. 2 E. W. M.**

 Area of Impacts (AI)

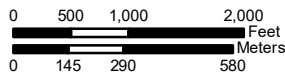
**USSG 1882
Date: 7/13/2023**



HISTORICAL
RESEARCH
ASSOCIATES, INC.


Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:20,000
Township/Range T19N R02E		Quadrangle Steilacoom and Tacoma South, WA

Service Layer Credits:





**Lakewood Station Access
Improvements Project Phase 2
Township 19 North, Range 2 East**

 Area of Impacts (AI)

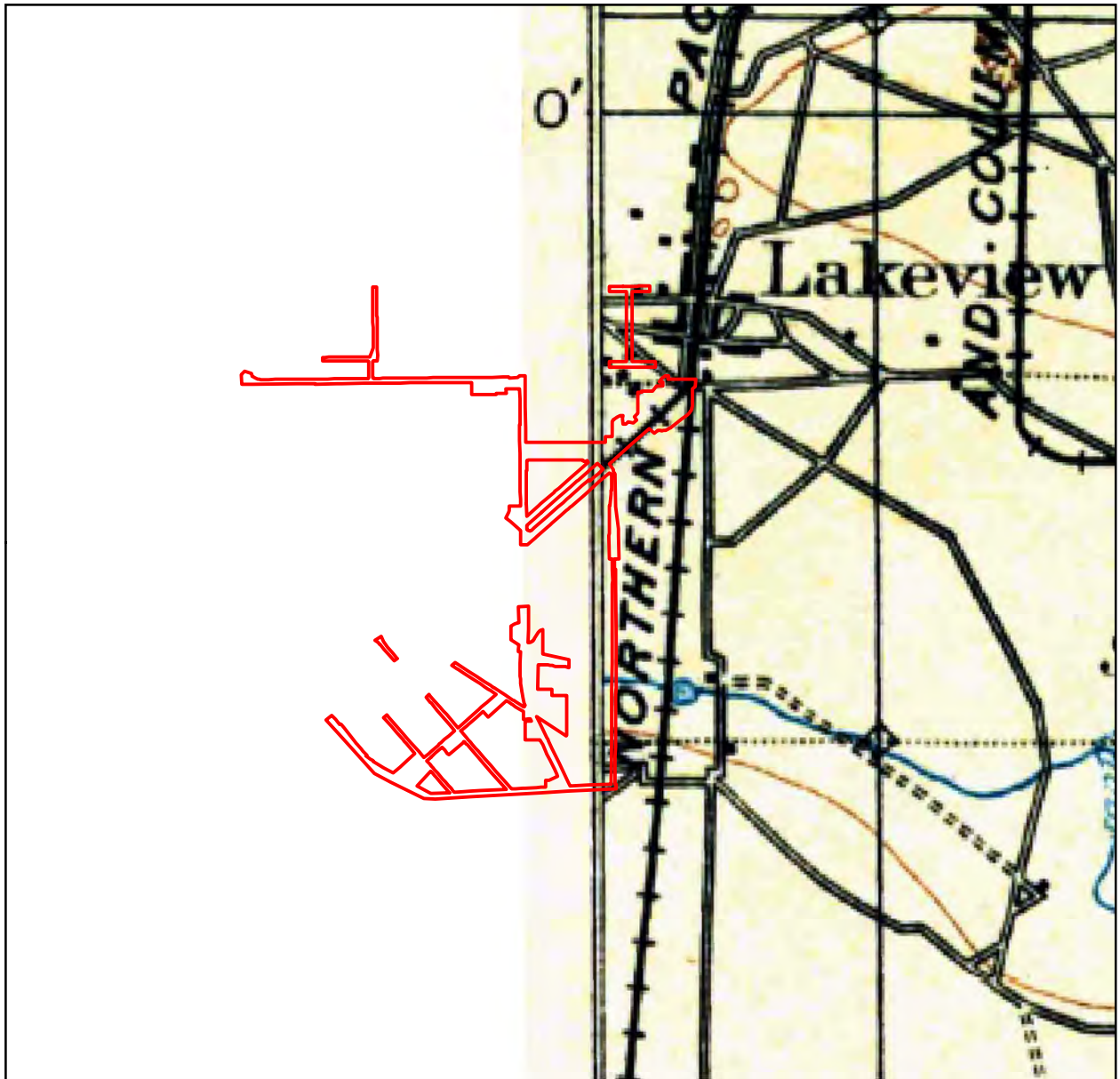
**Plummer 1889
Date: 7/13/2023**




Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:20,000
Township/Range T19N R02E	Quadrangle Steilacoom and Tacoma South, WA	

Service Layer Credits:





**Lakewood Station Access
Improvements Project Phase 2
Tacoma, WA
1:125,000**

 Area of Impacts (AI)


**USGS 1897
Date: 7/13/2023**




Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:30,000
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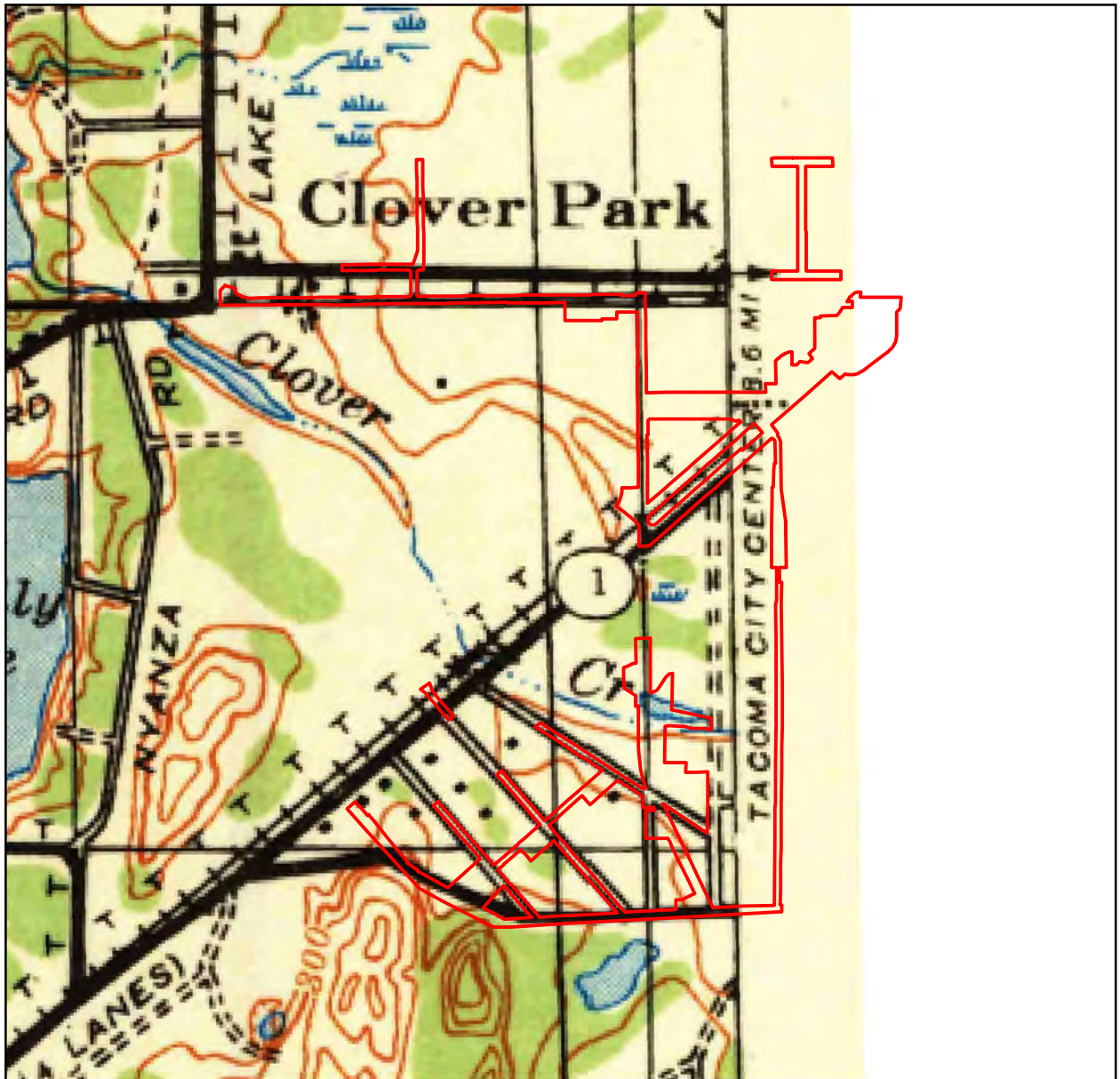
Township/Range T19N R02E	Quadrangle Steilacoom and Tacoma South, WA
------------------------------------	--

Service Layer Credits:




0 750 1,500 3,000 Feet
0 250 500 1,000 Meters





**Lakewood Station Access
Improvements Project Phase 2
Anderson Island, WA
1:62,500**

 Area of Impacts (AI)

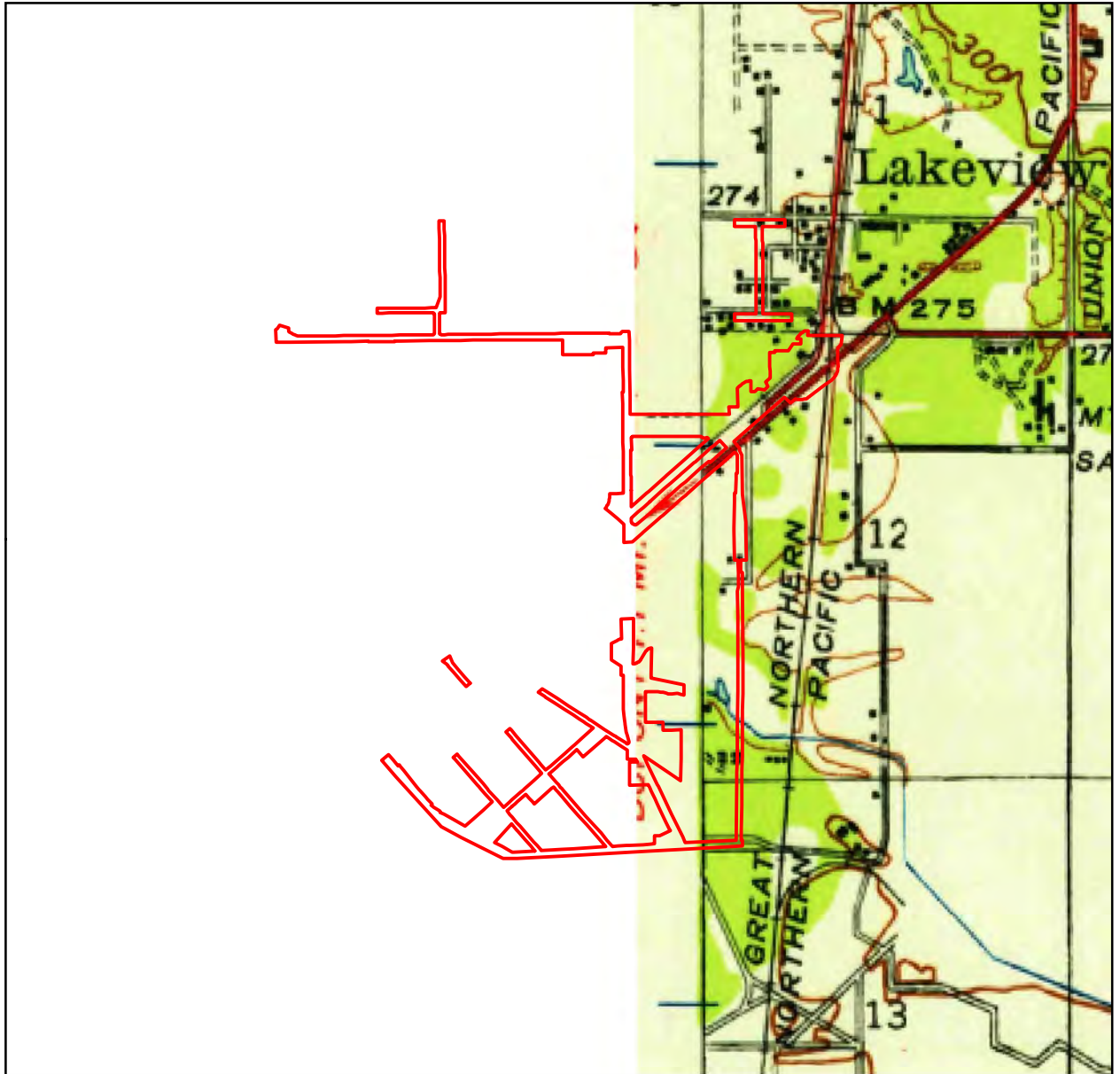
USGS 1940
Date: 7/13/2023




Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:20,000
Township/Range T19N R02E		Quadrangle Steilacoom and Tacoma South, WA

Service Layer Credits:





**Lakewood Station Access
Improvements Project Phase 2
Tacoma South, WA
1:62,500**

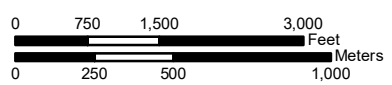
 Area of Impacts (AI)

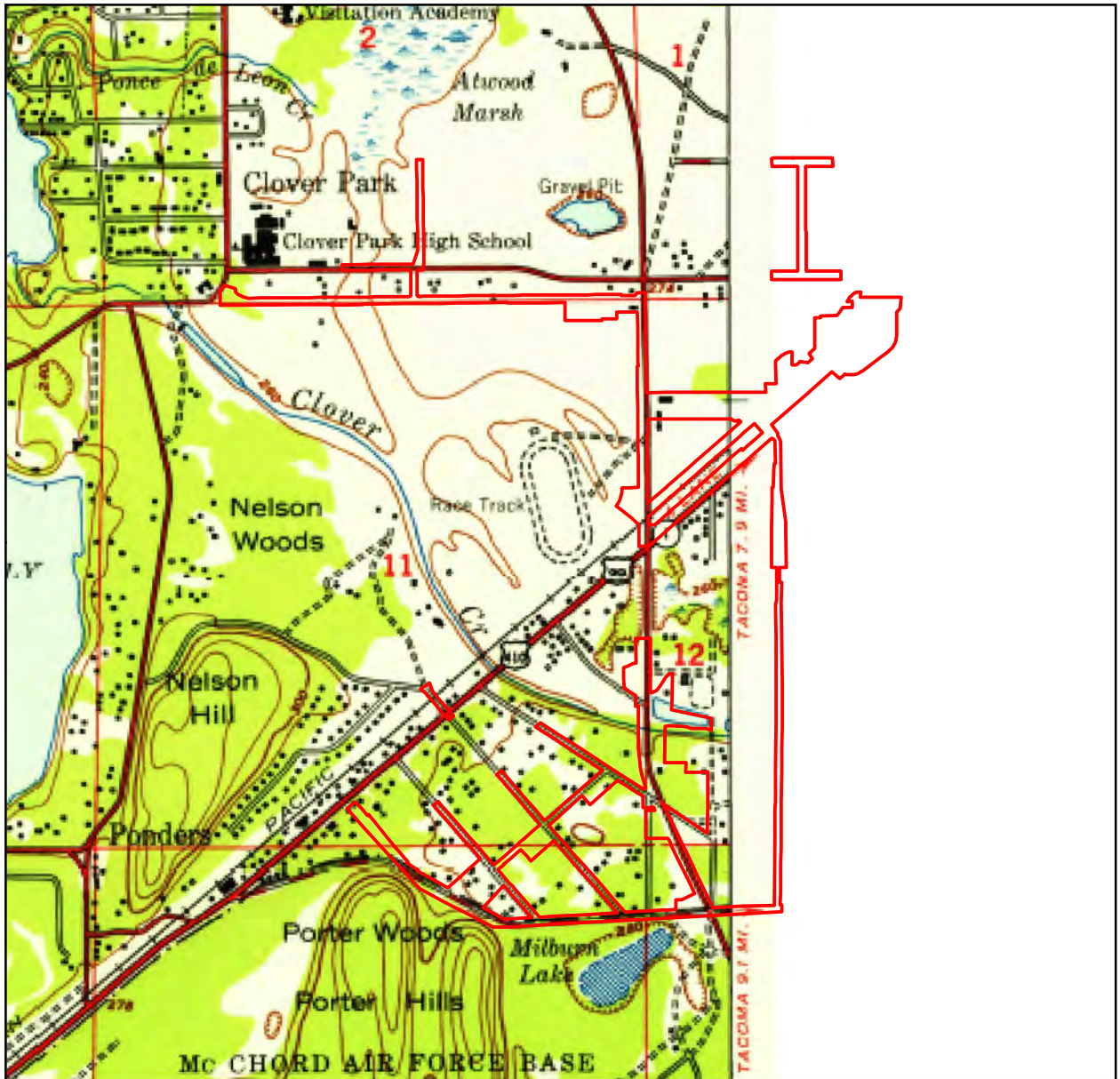
**USGS 1941
Date: 7/13/2023**




Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:24,000
Township/Range T19N R02E	Quadrangle Steilacoom and Tacoma South, WA	

Service Layer Credits:





**Lakewood Station Access
Improvements Project Phase 2
Steilacoom, WA
1:24,000**

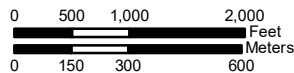
 Area of Impacts (AI)

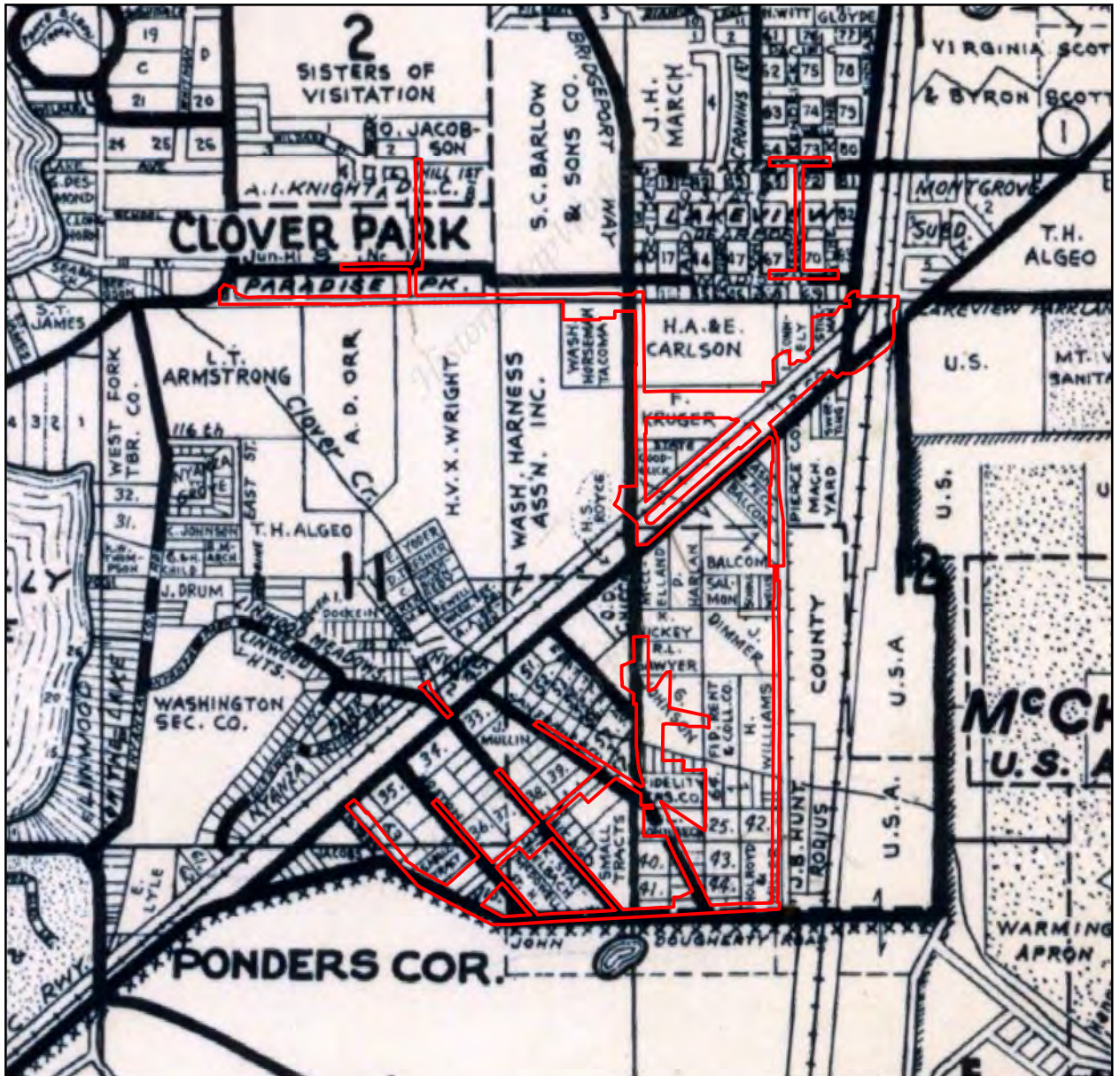
**USGS 1948
Date: 7/13/2023**




Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:20,000
Township/Range T19N R02E		Quadrangle Steilacoom and Tacoma South, WA

Service Layer Credits:





**Lakewood Station Access
Improvements Project Phase 2
Township 19 N., Range 2 E. W.M.**

 Area of Impacts (AI)

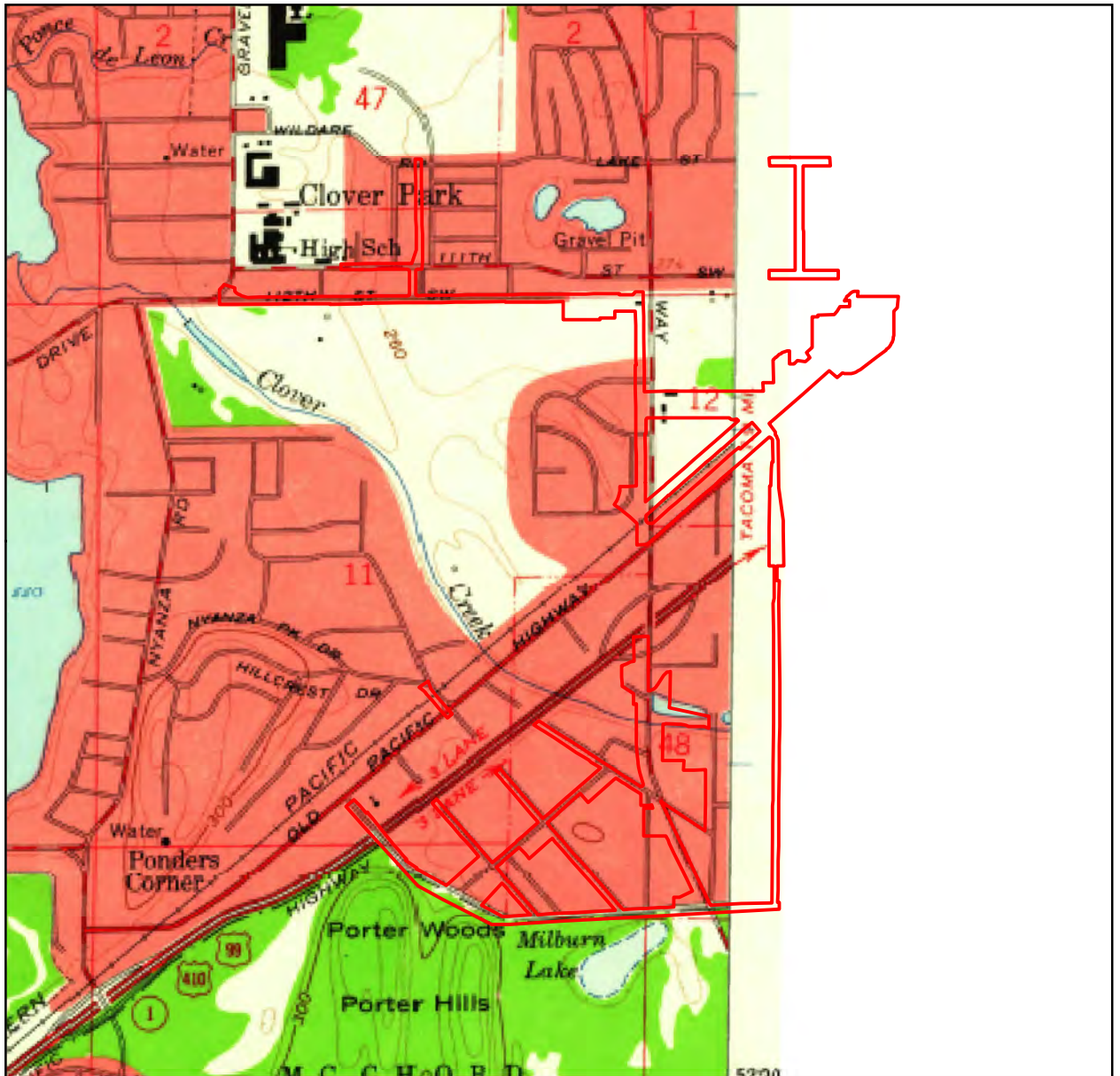
**Metsker 1951
Date: 7/13/2023**



Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:20,000
Township/Range T19N R02E		Quadrangle Steilacoom and Tacoma South, WA

Service Layer Credits:





**Lakewood Station Access
Improvements Project Phase 2
Steilacoom, WA
1:24,000**

Area of Impacts (AI)

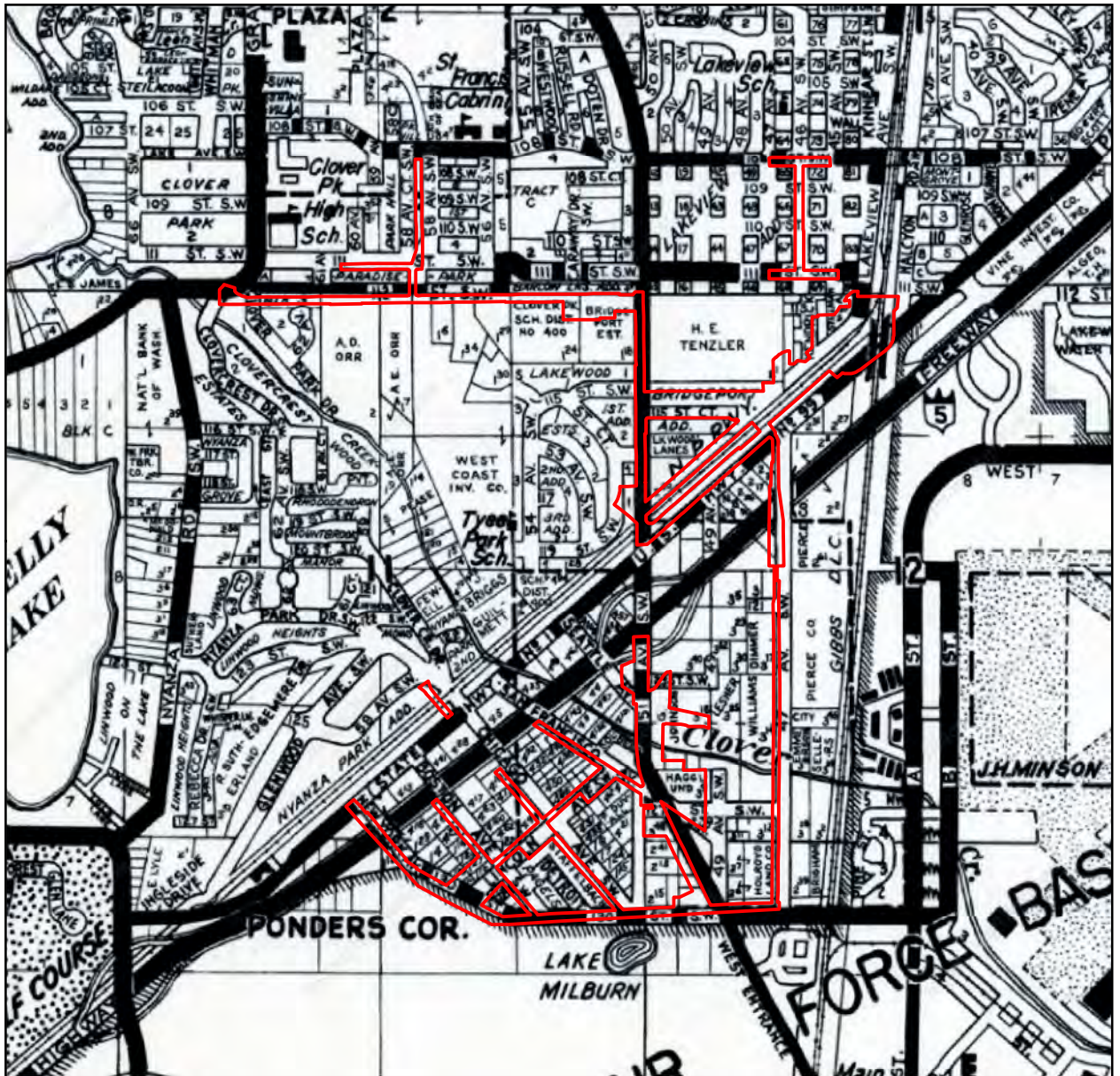
USGS 1959
Date: 7/13/2023



Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:20,000
Township/Range T19N R02E		Quadrangle Steilacoom and Tacoma South, WA

Service Layer Credits:





**Lakewood Station Access
Improvements Project Phase 2
Township 19 N., Range 2 E. W.M.
Northeast Quarter**

**Metsker 1960
Date: 7/13/2023**

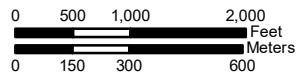


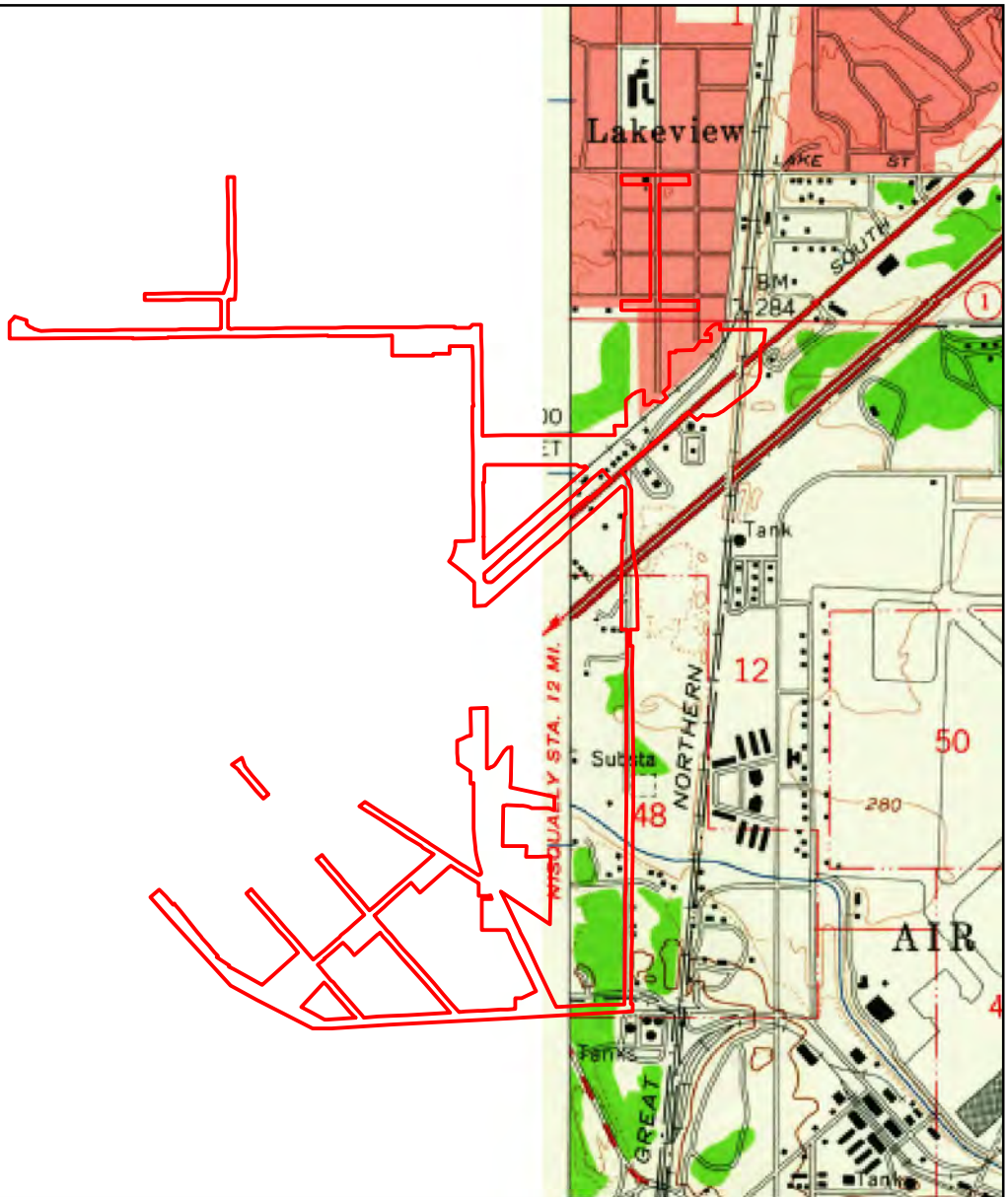
Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:20,000
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Township/Range T19N R02E	Quadrangle Steilacoom and Tacoma South, WA
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Service Layer Credits:

Area of Impacts (AI)





**Lakewood Station Access
Improvements Project Phase 2
Tacoma South, WA
1:24,000**

 Area of Impacts (AI)

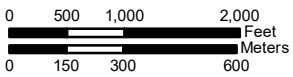
**USGS 1961
Date: 7/13/2023**




Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:20,000
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Township/Range T19N R02E	Quadrangle Steilacoom and Tacoma South, WA
------------------------------------	--

Service Layer Credits:



0 500 1,000 2,000 Feet
0 150 300 600 Meters



Appendix E

Shovel Probe Table

Table C-1. Shovel Probe Table.

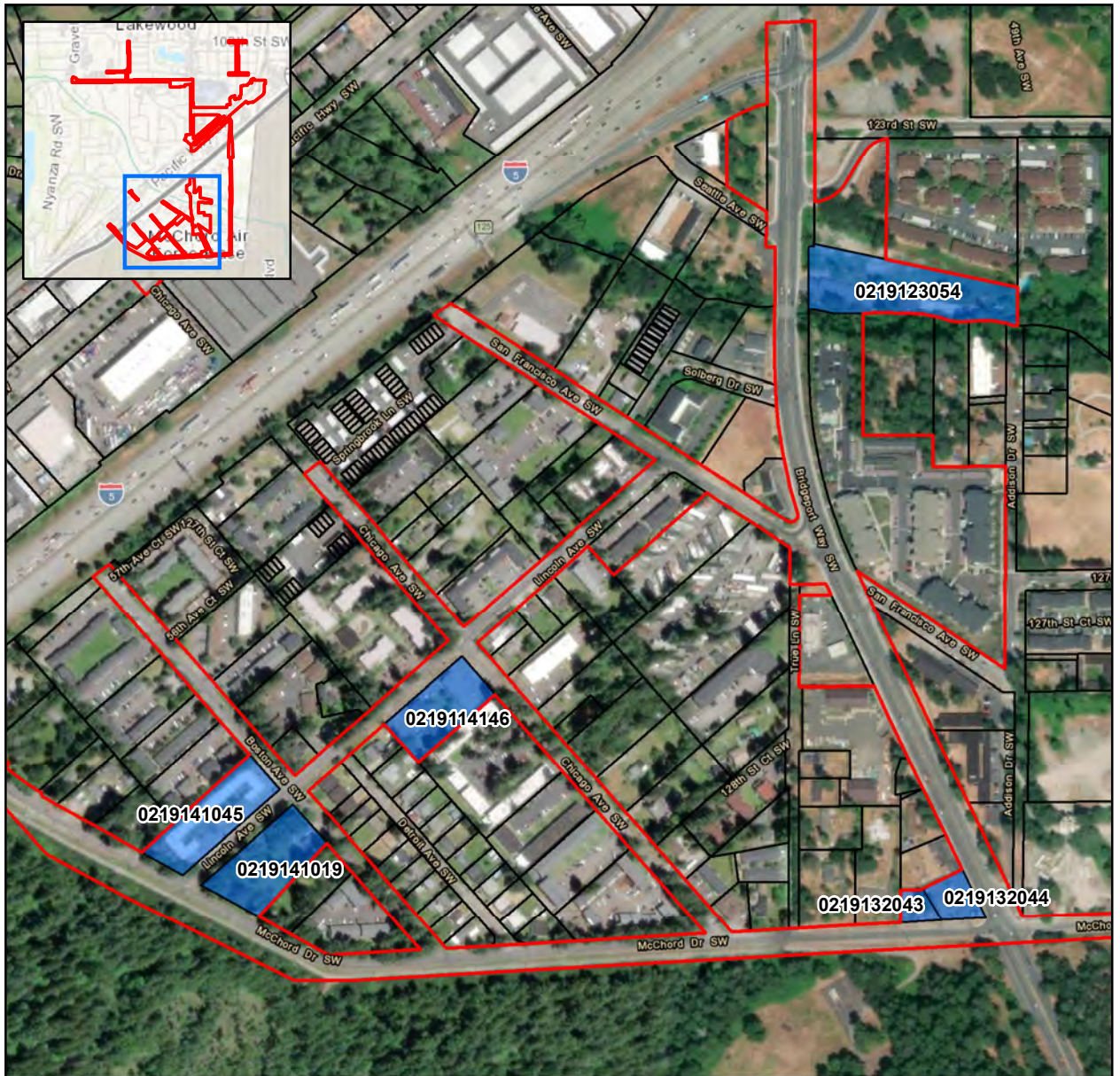
Shovel Probe	Maximum Depth (cmbs)	Description (cmbs): Description— <i>Comments</i>	Cultural Materials
1	70	<p>0–8: Dark brown sandy silt, many subrounded gravels ranging from small to large pebbles</p> <p>8–70: Dark brown silty sand, many subrounded gravels ranging from small pebbles to medium cobbles—<i>disturbed sediment/fill</i></p> <p><i>Terminated in disturbed sediment/fill</i></p>	None
2	83	<p>0–32: Dark brown somewhat sandy silt loam, some rounded and subrounded gravels ranging from small pebbles to medium cobbles, common grass rootlets</p> <p>32–71: Orangish brown loose gravelly fine- to medium-grained sand, many rounded and subrounded gravels ranging from small pebbles to large cobbles, few small to medium subrounded boulders</p> <p>71–83: Grayish-brown gravelly sand, very many rounded and subrounded gravels ranging from small pebbles to large cobbles, few small to medium subrounded boulders—<i>glacial sediment</i></p> <p><i>Terminated in glacial sediment</i></p>	None
3	84	<p>0–26: Dark brown loam, many rounded and subrounded gravels ranging from small pebbles to small cobbles, some fine to medium-sized grass and tree roots</p> <p>26–64: Dark grayish brown fine-grained sandy loam, many rounded and subrounded gravels ranging from small pebbles to small cobbles, few fine to medium-sized grass and tree roots</p> <p>64–84: Yellowish-brown gravelly silty fine-grained sand, very many rounded and subrounded gravels ranging from small pebbles to small cobbles, very few fine tree roots—<i>glacial sediment</i></p> <p><i>Terminated in glacial sediment</i></p>	None

Table C-1. Shovel Probe Table.

Shovel Probe	Maximum Depth (cmbs)	Description (cmbs): Description— <i>Comments</i>	Cultural Materials
4	70	<p>0–50: Very dark brown sandy silt, many subrounded gravels ranging from small pebbles to medium cobbles, few fine roots</p> <p>50–70: Yellowish-brown gravelly sand, many subrounded gravels ranging from small pebbles to medium cobbles—<i>glacial sediment</i></p> <p><i>Terminated in glacial sediment</i></p>	None
5	78	<p>0–30: Dark brown sandy silt loam, some rounded and subrounded gravels ranging from small pebbles to medium cobbles, few rootlets</p> <p>30–45: Gray dense gravelly sand, many subrounded and subangular gravels (small pebbles)</p> <p>45–78: Very dark grayish-brown sandy silt loam, many rounded and subrounded gravels ranging from small pebbles to large cobbles—<i>disturbed sediment/fill</i></p> <p><i>Terminated at unmarked utility pipe</i></p>	<p>10–20 cmbs: modern or temporally non-diagnostic debris including half of a golf ball and a green glass insulator fragment</p> <p>50–70 cmbs: two shards of temporally non-diagnostic amber glass; two shards of temporally non-diagnostic colorless glass; several pieces of concrete</p>
6	45	<p>0–8: Dark brown silty loam, many rounded and subrounded gravels ranging from small pebbles to small cobbles, some fine grass roots</p> <p>8–28: Dark grayish-brown fine-grained sandy loam, many rounded and subrounded gravels ranging from small pebbles to small cobbles, few fine grass roots</p> <p>28–45: Yellowish-gray gravelly silty medium-grained sand, very many rounded and subrounded gravels ranging from small pebbles to medium cobbles</p> <p><i>Terminated in glacial sediment</i></p>	<p>5 cmbs: 1 shard of temporally non-diagnostic amber bottle glass</p> <p>15–25 cmbs: 1 shard of temporally non-diagnostic colorless glass with incised “v”-shaped lines (likely bowl exterior design); 1 shard of temporally non-diagnostic colorless vehicle window glass</p>
7	42	<p>0–42: Dark brown sandy silt, many subrounded gravels ranging from small pebbles to medium cobbles, some fine to large grass and tree roots</p> <p><i>Terminated at large root obstruction</i></p>	None

Appendix F

Built Environment Survey Results



Lakewood Station Access Improvements Project Phase 2 Built-Environment Survey Results

- Inventoried Parcel
(Recommended Not Eligible)
- Area of Impacts (AI)
- Tax Parcel

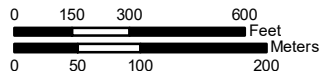
Aerial Overview
Date: 7/13/2023

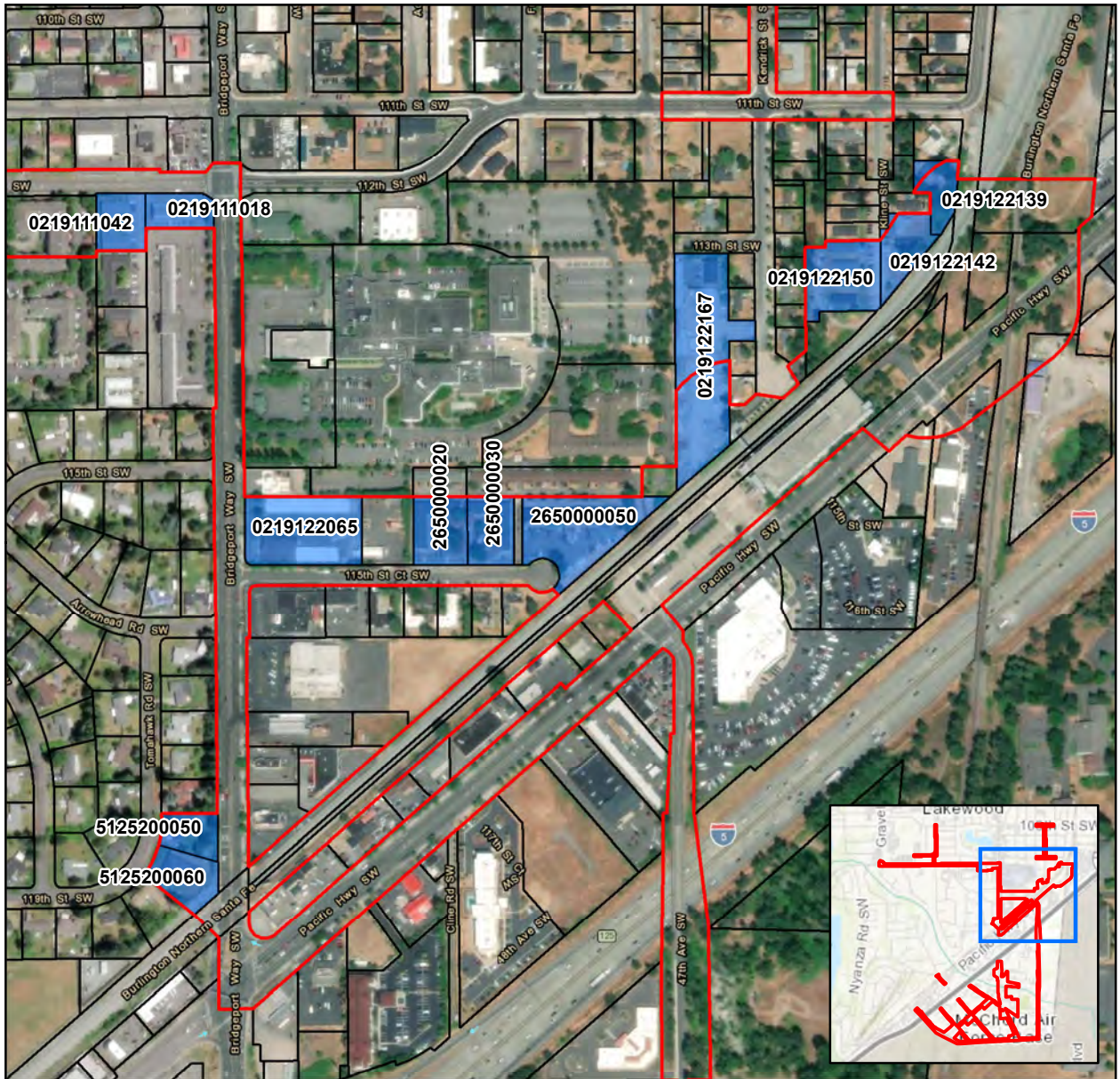


Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:6,000
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Township/Range T19N R02E	Quadrangle Stellacoom and Tacoma South, WA
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Service Layer Credits: Esri, HERE, Garmin, (c) OpenStreetMap contributors
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community





Lakewood Station Access Improvements Project Phase 2 Built-Environment Survey Results

- Inventoried Parcel (Recommended Not Eligible)
- Area of Impacts (AI)
- Tax Parcel

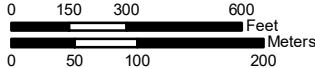
Aerial Overview
Date: 7/13/2023



Coord/Projection NAD 1983 UTM Zone 10N Transverse Mercator	Datum NAD83	Scale 1:6,000
--	-----------------------	-------------------------

Township/Range T19N R02E	Quadrangle Stellacoom and Tacoma South, WA
------------------------------------	--

Service Layer Credits: Esri, HERE, Garmin, (c) OpenStreetMap contributors
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



Appendix G

Historic Property Inventory Forms

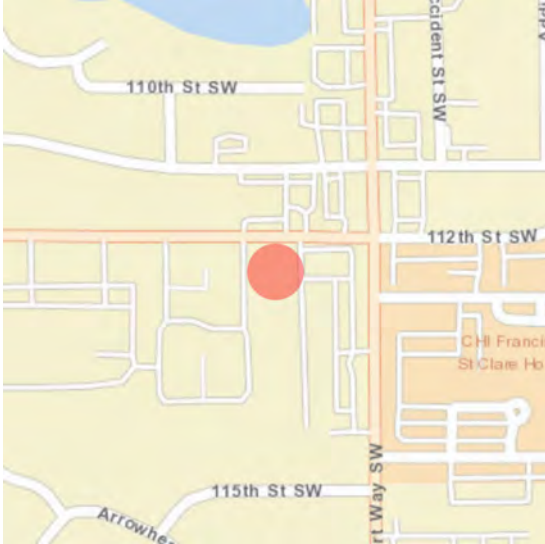


Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730662

Location



Address: 5202 112th St SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219111042

Plat/Block/Lot: Section 12 Township 19 Range 02 Quarter 21

Geographic Areas: STEILACOOM Quadrangle, T19R02E11, Pierce County Certified Local Government, Pierce County, Lakewood Certified Local Government

Information

Number of stories: 1.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1963	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Multiple Family House
Domestic	Domestic - Multiple Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730662

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730662

Photos



5202 112th Street SW, view southwest.jpg



5202 112th Street SW, view west.jpg



5202 112th Street SW, view northwest.jpg



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730662

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Form Type	Multiple Dwelling - U Court
Roof Type	Hip - Hip-on-Gable
Roof Material	Asphalt/Composition - Shingle
Cladding	Wood - T 1-11
Plan	U-Shape

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion

Significance narrative: Integrity
 From its period of construction (1963), the garden apartment complex at 5202 112th Street SW retains integrity of location, as it remains on its original parcel. It retains integrity of setting, as it remains in a heavily developed section of Lakewood, adjacent to a nearby commercial corridor. Window replacement has diminished its integrity of design, materials, and workmanship. Survey and the review of aerial imagery suggests the building may have included a designed landscape in its central courtyard, but the courtyard is now primarily lawn with some plantings, including rhododendron (NETROnline 2023). The apartment building no longer retains integrity of feeling. It continues to perform its original function and retains integrity of association.

Evaluation

The Tahitian was developed as multi-family housing in the 1960s, during a period when Lakewood and other communities along the new route of I-5 added additional residential development, some of which replaced former uses like the horse training grounds to the south of this location. Commercial development also increased along Bridgeport Way SW in the mid-twentieth century, creating an increasingly dense urban fabric in today's Lakewood. While development was associated with general patterns in transportation and housing, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010), which shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730662

Lewis 2023).

The apartment complex provided some of the many new housing units added to pre-incorporation Lakewood in the 1950s and 1960s, but it does not appear, based on a review of historic maps and local histories, to have any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The Tahitian includes some details referencing Polynesian style, an approach to ornament and design associated with mid-century modernism, although these references are faint and primarily limited to the style of the sign, carved into a privacy screen, and a hipped roofline. The Polynesian or “tiki” style was made popular by everything from GIs returning to the United States with memories of the South Pacific to the depiction of island culture and leisure in American movies (Brogan 2017). With the limitations of the location and climate, the stylistic elements of Polynesian or tiki style are barely discernable at this apartment complex. The building is modest in plan, and alterations to its materials and courtyard have diminished its character. The building is a minimally ornamented example of a Modern garden apartment complex (grouping units around a shared open space) with minimal references to Polynesian style. It does not possess the distinctive characteristics of a particular type, period, or method of construction; or represent the work of a master; or possess high artistic values; or represent a significant and distinguishable entity whose components may lack individual distinction (i.e., is part of a district) (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the apartment building at 5202 112th Street SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.

Physical description:

According to the Pierce County Assessor, the apartment complex at 5202 112th Street SW in Lakewood was constructed in 1963 (Pierce County Assessor 2023). The U-shaped building faces east toward a parking lot and additional development. It is one-story tall, and shielded by a prow-shaped east-facing screen with signage for “The Tahitian.” The building’s north and west-facing yards are enclosed by privacy fencing and its central courtyard is obscured by the east-facing screen.

The building sits on a poured-concrete foundation, is clad in wood sheet or T1-11, and is topped by shallow hip-on-gable roofs with deep eaves and ornamental wood grids in the gable peaks. The complex is entered by concrete walkways flanking the screen. The interior walls are clad in brick veneer, and apartments include either vinyl French doors or wood French doors with divided lights and, in some cases, divided sidelights. Additional windows are picture windows with sliders and air conditioners or one-over-one windows. All are vinyl frame. The interior courtyard is lined with concrete and brick walks and includes a central lawn bordered by ornamental shrubs.



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730662

Bibliography:

Brogan, Jacob. 2017. "There's More to Classic Tiki Than Just Kitsch," Smithsonian Magazine. Electronic document, <https://www.smithsonianmag.com/smithsonian-institution/theres-more-to-classic-tiki-than-just-kitsch-180964473/>, accessed March 29, 2023.

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

NETROnline. 2023. Historic Aerials, Pierce County. Electronic document, <https://www.historicaerials.com/>, accessed April 20, 2023.

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

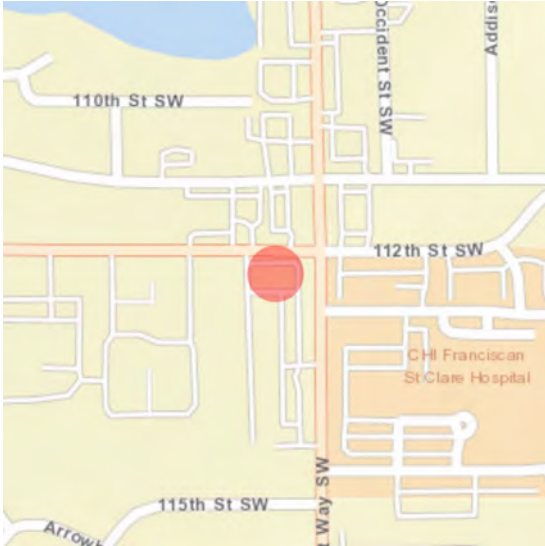


Historic Property Report

Historic Name: Commercial

Property ID: 730665

Location



Address: 11202 Bridgeport Way SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219111018

Geographic Areas: Pierce County Certified Local Government, Lakewood Certified Local Government, T19R02E11, STEILACOOM Quadrangle, Pierce County

Information

Number of stories: 1.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1964	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Commerce/Trade	Commerce/Trade - Business
Health Care	Health Care - Clinic
Commerce/Trade	Commerce/Trade - Business
Health Care	Health Care - Clinic

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Commercial

Property ID: 730665

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
------	-------------	-------

Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	

Historic Property Report

Historic Name: Commercial

Property ID: 730665

Photos



11202-11208 Bridgeport Way SW, view northwest..jpg



11202-11208 Bridgeport Way SW, view southwest.jpg



Historic Property Report

Historic Name: Commercial

Property ID: 730665

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Form Type	Commercial - Strip Commercial
Roof Type	Gable - Front
Cladding	Brick - Stretcher Bond
Plan	Rectangle
Roof Material	Asphalt/Composition - Built Up

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion

Significance narrative: Integrity
 From its period of construction (1964), the commercial building at 11202–11208 Bridgeport Way SW retains integrity of location and setting, as it remains on its original parcel along a commercial corridor. It appears to retain integrity of design, workmanship, feeling, and association, as it continues to provide commercial space and retains many of its original elements, with some small amount of window replacement on the rear elevation that has diminished its integrity of materials.

Evaluation

According to the Tacoma-Pierce County Building Index, the building at 11202–11208 Bridgeport Way was part of the larger Bridgeport Center, addressed as 11226 Bridgeport Way SW. The shopping center comprised this building and another to the south (TPL 2023). The index notes that the development was built by Boyd Lundstrom, a local real estate developer in Tacoma and Lakewood, and Les Rowland. It opened in August 1964. In December 1964, the Community Relations Committee of the Ford Motor Company Dealers of Tacoma presented the builders with an accommodation for their personal investment in the project (Tacoma News Tribune 1964; TPL 2023). Early advertisements for the building at 11202–11208 Bridgeport Way associate the address with Washington Medical Clinics for Weight Control (Seattle Post-Intelligencer 1979). Today, the building supports office and retail use, and devotes its primary unit to food service.

Boyd Lundstrom was an active real estate developer in Lakewood and Tacoma in the



Historic Property Report

Historic Name: Commercial

Property ID: 730665

1960s and 1970s, constructing single-family and multi-family housing along with commercial development. He served as the 1964 president of the Master Builders Association of Pierce County and advocated for affordability and new building practices that could lower costs for consumers. In the 1980s and 1990s, he was best known as a voice against incorporation for Lakewood, an effort attempting to limit government interference. Incorporation passed in spite of his opposition in 1996 (Tacoma News Tribune 1990). While the building was developed by Lundstrom and his partners, research did not reveal that this location holds any significant association with Lundstrom.

The building at 11202–11208 Bridgeport Way SW was constructed during a period when Lakewood and other communities along the new route of I-5 were growing. Commercial development increased along Bridgeport Way SW, creating an increasingly dense urban fabric in Lakewood. This building is one of many added to the region in the 1950s and 1960s. While it was constructed as part of the larger Bridgeport Center, the remainder of the center (located on a separate parcel outside the AI), has been altered by an addition and window and door replacement and lacks integrity.

Although constructed during a period of growth, it does not appear, based on a review of historic maps and local histories, that the building had any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons, apart from Lundstrom. The building's association with Lundstrom does not rise to the level of significance required to qualify under Criterion B (Criterion B). The building is a modest commercial block with few character-defining features apart from its arcaded perimeter, a feature common to many mid- and late twentieth-century commercial developments. It does not retain significant signage, associated landscape features like courtyards or plantings, and does not possess significant features of Modern architecture. The building does not possess the distinctive characteristics of a particular type, period, or method of construction or possess high artistic values. It does not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district), as no potential district appears to be present. The building does not represent the works of a master (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the commercial building at 11202–11208 Bridgeport Way SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Commercial

Property ID: 730665

Physical description:

According to the Pierce County Assessor, the commercial building at 11202–11208 Bridgeport Way SW was constructed in 1964 (Pierce County Assessor 2023). The single-story building is rectangular in plan and faces east toward Bridgeport Way SW. It sits on a poured-concrete foundation, is clad in painted brick veneer in running bond, and is topped by a front-gabled roof with deep eaves extending over covered walks on the south, east, and north elevations. Eaves are supported by simple, round, metal posts.

The building's east-facing facade includes large, aluminum-frame picture windows flanking a smaller central window covered by signage. All windows are associated with the easternmost tenant, identified by signage as "Hoagie's Sub Deli." Above the wide eave is a gable peak with wood vent. The primary entrance is on the south elevation where a glazed, aluminum-frame pedestrian door is paired with an additional aluminum-frame picture window. Along the southern elevation are additional units, each with a glazed aluminum-frame door and aluminum-frame windows of various sizes. The building's west (rear) elevation includes no walkway but three wide, sliding, vinyl-frame windows under a gable peak with wide vent. The building's north elevation also includes pedestrian doors, some solid and some glazed, each paired with a sliding, aluminum-frame window. A large picture window is located near the northeast corner, and mechanical systems are mounted above the northern eave.

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Seattle Post-Intelligencer. 1979. Advertisement, June 28.

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Tacoma Public Library. 2023. Tacoma-Pierce County Building Index. Electronic document, <https://cdm17061.contentdm.oclc.org/digital/collection/p17061coll1>, accessed March 29, 2023.

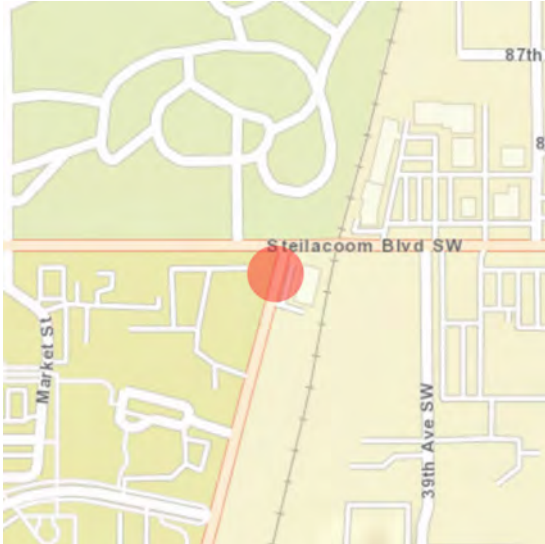


Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730664

Location



Address: Lakeview Ave SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219122139

Geographic Areas: T20R02E36, Lakewood Certified Local Government, Pierce County, TACOMA SOUTH Quadrangle, Pierce County Certified Local Government

Information

Number of stories: 2.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1928	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Multiple Family House
Domestic	Domestic - Multiple Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730664

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	

Photos



4400 Lakeview Avenue SW, view southwest.jpg



4400 Lakeview Avenue SW, circa 1926, courtesy of the Tacoma-Pierce County Building Index 2..jpg



4400 Lakeview Avenue SW, circa 1926, courtesy of the Tacoma-Pierce County Building Index.jpg



4400 Lakeview Avenue SW, view southeast.jpg



4400 Lakeview Avenue SW, view southwest - 2.jpg



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730664

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Block
Form Type	Multiple Dwelling
Roof Type	Flat with Eaves
Roof Type	Gable - Side
Cladding	Wood - Shiplap
Plan	Irregular

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion

Significance narrative: Integrity
 From its period of construction (ca. 1925), the apartments at 4400 Lakeview Avenue SW retain integrity of location, as they remain on their original parcel. They do not retain integrity of setting, as revisions to the route of Lakeview Avenue SW (which used to continue south past this resource) and Highway 99 have altered the resource's relationship to historic-period transportation routes. The building does not retain integrity of design, materials, workmanship, or feeling, as it has been altered by changes in siding material, the addition of vinyl-frame windows that replaced wood-framed casements, and the loss of original clay tile eaves, some of which have been replaced with incompatible materials. Additionally, as evident when reviewing 1920s photographs, the building lost its original porch when the building converted its public spaces to residential use, and its primary entrance has been shifted to the north elevation. It has also been expanded by the addition of new apartment units. The building does not retain integrity of association, as it was originally constructed as a roadhouse with restaurant and dancing, and, according to newspaper articles from the 1920s through the 1950s, was slowly expanded to include housing units and then converted entirely to residential use.

Evaluation

The apartment building now addressed as 4400 Lakeview Avenue SW but identified in the Tacoma-Pierce County Building Index as 10700 Pacific Highway SW was constructed circa 1925 and appears in newspaper articles first as the Lighthouse Inn, an



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730664

entertainment venue paired with a picnicking location and renovated to include “two spacious rooms for dancing, nine private dining rooms, and a large kitchen” in 1926 (Tacoma News Tribune 1926; Tacoma Public Library 2023). The proprietor, Harry Sharp, was later charged with selling whisky at the nightclub and sentenced to three years prison (Tacoma News Tribune 1930). The location next appeared in newspaper articles as “Max Frolic’s Villa,” a “roadhouse” or restaurant, stage, and dance hall established in 1932 (Tacoma News Tribune 1932). By 1938, Frolic had moved to a new location nearer Tacoma and was operating a “high class restaurant” (Tacoma News Tribune 1938). In 1939, his former roadhouse was known briefly as Club Liberty, and then as Club Moderne, a fully renovated nightclub that could accommodate roughly 300 people and hosted private parties and banquets. By December of that year, Club Moderne was advertising a New Year’s show complete with rumba music by the Modernaires, dinner, a floor show, and “dancing all night” (Tacoma News Tribune 1939a, 1939b). Newspaper articles suggest the club was known as the Victory Inn and partially converted to housing in the 1940s. When it was advertised for sale or rent in 1944, it included “a large clubhouse, formerly called Club Moderne, and several cottages, now rented. Clubhouse has 2 apartments—more can be made” (Tacoma News Tribune 1944). At the time of survey, the building included only multi-family housing.

While local development was associated with general patterns in transportation and housing in Pierce County—including the establishment of roadside attractions like nightclubs along the old Highway 99—Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010). The base has shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis 2023).

The former roadhouse was a popular entertainment venue in the 1920s and 1930s before it served as rental housing, and the building is associated with entertainment, recreation, and with broader historic trends like Prohibition, which led to the incarceration of one of its proprietors (Criterion A). While it is associated with local commercial activity and regularly featured local and traveling entertainers, background research did not reveal any important association of the resource with the lives of significant persons (Criterion B). The building is an example of multi-family housing with some details from the early twentieth century, evident in its irregular plan and clay tile eaves. However, the building has been heavily altered, does not retain consistency in design, materials, or plan, and does not possess the distinctive characteristics of a particular type, period, or method of construction. It no longer resembles a roadhouse or entertainment venue as it has been subdivided and its public spaces redesigned and converted to residential use. The building no longer retains the lighthouse signage or other indications that it was designed to attract motorists off Highway 99. It no longer retains the broad welcoming porch that identified its entrance, and features like the crenelated roof and eave have been partially dismantled and replaced with incompatible materials. At the time of survey, the building resembled atypical multi-family housing with few distinctive features apart from its plan. The building does not possess high artistic values. It does not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district). It does not appear to represent the works of a master (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730664

Due to a lack of integrity, Historical Research Associates, Inc., recommends the apartment building at 4400 Lakeview Avenue SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.

Physical description:

According to the Pierce County Assessor, the two-story apartment building at 4400 Lakeview Avenue SW was constructed in 1928 (Pierce County Assessor 2023). However, this appears to be an error as newspaper articles identify this as the location of the Lighthouse Inn's renovated 1925 building as early as 1926 (Tacoma News Tribune 1926). The building is irregular in plan with a partial, central second story. A detached garage is located to the rear (south). The building is angled on its lot, aligned to face the railroad tracks and a former leg of Lakeview Avenue SW, which no longer extends to the south. The building sits on a concrete-block foundation, is clad in lapped wood siding, and is topped by a flat roof on the first floor, which is partially crenelated with clay tile eave. The upper story includes an off-center side-gabled roof with scalloped eave. Wood slat fences enclose the immediate yard.

The building includes multiple units. The building's facade includes a partial western projection with the entry door and stoop for unit 2 located between two large vinyl-frame picture windows. To the east, the building steps back and includes one pedestrian entry paired with a concrete stoop and vinyl-frame windows. West of unit 2 are additional vinyl-frame picture and sliding windows. Above the first floor, the second floor includes three wood-frame, sliding windows with divided lights in the eastern sashes. The building's east elevation includes vinyl-frame, one-over-one windows and a southern projection. On this elevation, clay tile eaves have been replaced with an eave of boards. Two entry doors are approached by shallow stairs and stoops, one with metal rail and the other with manufactured stone. The building's north elevation includes three additional pedestrian doors, including one on the stepped-back southwest corner, and vinyl-frame windows, including a large picture window with internal grids. The unit at the southwest corner includes no eave. The second floor on this elevation reveals a projection to the rear of the second story roof and a pedestrian door.

The garage is a single rectangular building with six individual garage bays. It is sided in lapped wood siding with some plywood and is topped by a shed roof.



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730664

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Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

Tacoma News Tribune. 1926. Lighthouse Inn Will Be Opened, April 7.

1930. Tony Vendetti Must Serve Prison Term. December 30.

1932. Frolic's Villa to Celebrate Its Third Birthday, October 28.

1938. Max Frolic's New 'Dreamhouse' Opens Thursday, 6 P.M., May 25.

1939a. Dancing Every Night at New Club Moderne, October 20.

1939b. Club Moderne, Formerly Frolic's Villa, ad., December 30.

1944. 14 Acres, beautifully wooded, ad., January 23.

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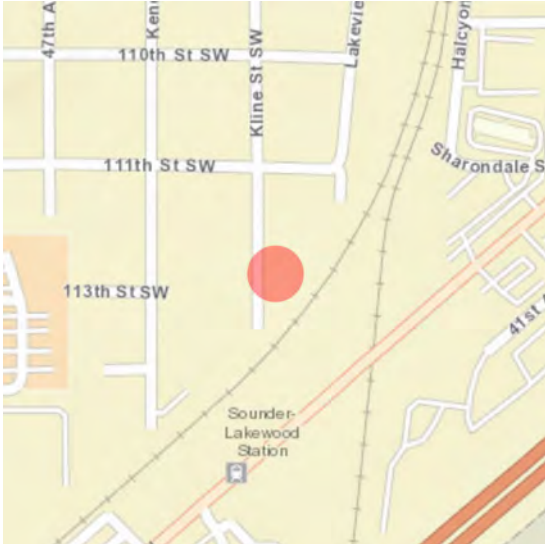


Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730666

Location



Address: 11213 Kline St SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219122142

Geographic Areas: T19R02E12, Pierce County, TACOMA SOUTH Quadrangle, Pierce County Certified Local Government, Lakewood Certified Local Government

Information

Number of stories: 1.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1960	<input type="checkbox"/>
Built Date	1950	<input type="checkbox"/>
Built Date	1955	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Multiple Family House
Domestic	Domestic - Multiple Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730666

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	

Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730666

Photos



11221 Klein Street SW, view northwest.jpg



11213 (left) and 11215-11217 Klein Street SW (right)
view northwest.jpg



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730666

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Roof Type	Gable - Side
Roof Material	Asphalt/Composition - Shingle
Plan	Rectangle
Foundation	Concrete - Poured
Cladding	Fiber Cement Board
Cladding	Wood - Shiplap
Cladding	Wood - Shingle
Roof Type	Hip

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion

Significance narrative: Integrity
 As noted above, the units at 11213–11221 Kline Street SW have been heavily altered by window and siding replacement. Historic-period aerials suggest that the complex was constructed in phases between ca. 1955 (11213–11217 Kline Street SW) and 1960 (11221 Kline Street SW) (NETROnline 2023; Pierce County Assessor 2023; Tacoma News Tribune 1955). Historic-period aerials and variations in addresses also suggest that a fourth unit at this location (aka 11219 Kline Street SW) has been demolished or otherwise lost (NETROnline 2023; Pierce County 2023).

The multi-family complex at 11213–11221 Kline Street SW retains integrity of location, as it remains on its original parcel. It does not retain integrity of setting, as development along the railroad tracks to the south and along adjacent lands has altered its original relationship to the surrounding landscape. Window and siding replacement, along with the removal of 11219 Kline Street SW, have diminished the complex's integrity of design, materials, workmanship, and feeling. The complex retains integrity of association, as it continues to serve its original purpose as multi-family housing.

Evaluation

The multi-family complex at 11213–11221 Kline Street SW was constructed in phases



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730666

between ca. 1955 and 1960 (NETROnline 2023; Pierce County Assessor 2023; Tacoma News Tribune 2023). While local development was associated with general patterns in transportation and housing in Pierce County, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010). The base has shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis2023).

The first reference to these buildings in local newspapers dates to 1955, when C. G. Stillman pulled a permit for 11213 Kline Street SW, which was then offered for rent in July of that year (Tacoma News Tribune1955; TPL 2023). The Stillman name is associated with development in Lakewood and with the establishment of a tree farm in Pierce County, but research did not reveal that this location holds any significant association with the Stillman family.

While the complex was constructed ca. 1955–1960, likely in association with a growing need for additional housing in the region, it does not appear, based on a review of historic maps and local histories, that the complex had any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The complex's buildings are altered examples of small Minimal Traditional and World War II-Era cottages. Modest in plan with few character-defining features apart from their simple forms and minimal ornament, these units do not possess the distinctive characteristics of a particular type, period, or method of construction. They do not possess high artistic values. They do not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district). They do not appear to represent the works of a master (Criterion C). Finally, the buildings were built of common construction methods and well-known materials and are unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the multi-family complex at 11213–11221 Kline Street SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730666

Physical description:

According to the Pierce County Assessor, parcel0219122142, addressed as 11213–11221 Kline Street SW, includes three rectangular, parallel buildings contributing to a multi-family complex with a total of four units. Pierce County notes that all were constructed in 1945 (Pierce County Assessor 2023). However, this appears to be an error, as historic aerials suggest the location remained undeveloped as late as 1945 (NETROnline 2023). The earliest buildings, the two northernmost buildings, were added by 1955 (NETROnline 2023; Tacoma News Tribune 1955). The southernmost building, which is adjacent to the AI, was constructed ca. 1960 (NETROnline 2023; Pierce County Assessor 2023). All three buildings are rectangular, one-story tall, and are separated by narrow strips of lawns.

11213 Kline Street SW

The northernmost building, 11213 Kline Street SW, was constructed ca. 1955 (NETROnline 2023; Pierce County Assessor 2023; Tacoma News Tribune 1955). It is a side-gabled single unit with an off-center entry and stoop under a projecting gable supported by a simple square post. It sits on a poured-concrete foundation, is clad in cement boards, and is topped by a side-gabled, asphalt-shingle roof with modest eaves. The facade includes three sliding vinyl-frame windows with internal grids. The north elevation includes an exterior chimney, and both the north and south elevations include single vinyl-frame, sliding windows.

11215-11217 Kline Street SW

The central building, 11215 and 11217 Kline Street SW, was constructed ca. 1950 (NETROnline 2023; Pierce County Assessor 2023). It is a narrow, hipped duplex with one entry facing west and another facing south. It sits on a poured-concrete foundation, is clad in lapped wood siding, with some shingle siding remaining on the south elevation, and is topped by a hipped asphalt-shingle roof. Its facade includes a central entry, stoop, and vinyl-frame, sliding window under a projecting shed eave. Its south elevation includes a second entry door and vinyl-frame, sliding windows. Its north elevation includes additional vinyl-frame, sliding windows, one of which is paired with a wooden ledge.

11221 Kline Street SW

The southern building, 11221 Kline Street SW, was constructed ca. 1960 (NETROnline 2023; Pierce County Assessor 2023). It is a narrow, side-gabled single unit with its wide facade and primary entry under a projecting shed eave facing south. It sits on a poured-concrete foundation and is clad in cement boards with manufactured shingles under the eaves. It is topped by a side-gabled, asphalt-shingle roof. The facade includes a primary and secondary entry door and three vinyl-frame, sliding windows. Its west elevation includes two additional vinyl-frame, sliding windows, and its north elevation includes an additional secondary entry paired with three vinyl-frame windows.



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730666

Bibliography:

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

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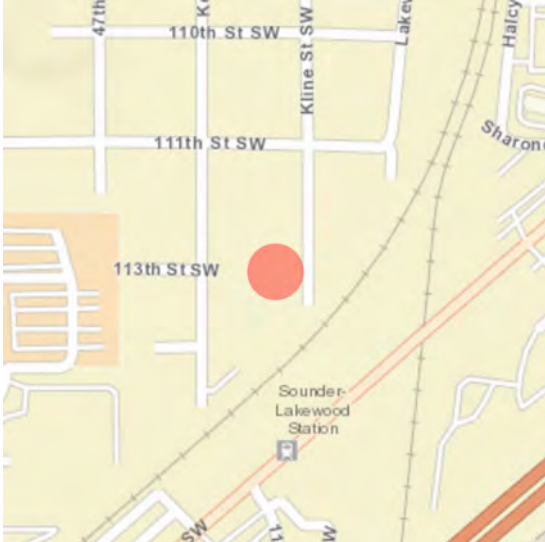


Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730716

Location



Address: 11216 Kline St SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219122150

Geographic Areas: Lakewood Certified Local Government, Pierce County Certified Local Government, T19R02E12, Pierce County, TACOMA SOUTH Quadrangle

Information

Number of stories: 1.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1960	<input type="checkbox"/>
Built Date	1940	<input type="checkbox"/>
Moved	1957	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Multiple Family House
Domestic	Domestic - Multiple Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730716

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	

Photos



11216 through 11230 Kline Street SW, view



11216-11230 Kline Street SW, view southwest.jpg



11216 through 11230 Kline Street SW, view west.jpg



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730716

Inventory Details - 4/20/2023

Common name:

Date recorded: 4/20/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Plan	Rectangle
Roof Type	Hip
Cladding	Wood - Shiplap
Cladding	Wood - Shingle
Roof Material	Asphalt/Composition - Shingle
Form Type	Multiple Dwelling - Duplex
Form Type	Multiple Dwelling - Four Unit Block
Foundation	Concrete - Poured
Roof Type	Gable - Side

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730716

Significance narrative:

Integrity

As noted above, the complex at 11216–11230 Kline Street SW once included a U-shaped configuration, which has been demolished and replaced with four parallel two-unit, rectangular buildings (NETROnline 2023; Pierce County Assessor 2023). From its period of construction (ca. 1940 through 1960), the multi-family housing complex at 11216–11230 Kline Street SW does not retain integrity of location, as at least one of these buildings, likely 11224–11226 Kline Street SW, was moved to this location in 1957, based on local newspaper records (Tacoma News Tribune 1957). The complex does not retain integrity of setting, as development along the railroad tracks to the south and along adjacent lands has altered its surroundings. Alterations, primarily window and siding replacement, have diminished the complex's integrity of design, materials, workmanship, and feeling. The complex retains integrity of association, as it continues to serve its original purpose as multi-family housing.

Evaluation

The residential units at 11216–11230 Kline Street SW were constructed ca. 1940 to 1960 as a multi-family housing complex. While local development was associated with general patterns in transportation and housing in Pierce County, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010). The base has shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis 2023).

The first reference to these buildings in local newspapers dates to 1957, when D. D. Stillman pulled a permit to move an existing duplex to this location (Tacoma News Tribune 1955; TPL 2023). The Stillman name is associated with development in Lakewood and with the establishment of a family tree farm in Pierce County, but research did not reveal that this location holds any significant association with the Stillman family.

While the complex was constructed ca. 1940 to 1960, likely in association with a growing need for additional housing in the region, it does not appear, based on a review of historic maps and local histories, that the complex had any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The buildings are altered examples of small Minimal Traditional and World War II-Era cottages. Modest in plan with few character-defining features apart from their simple forms and minimal ornament, these units do not possess the distinctive characteristics of a particular type, period, or method of construction. They do not possess high artistic values. They do not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district). They do not appear to represent the works of a master (Criterion C). Finally, the buildings were built of common construction methods and well-known materials and are unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the multi-family housing complex at 11216–11230 Kline Street SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730716

Physical description:

According to the Pierce County Assessor, the parcel 0219122150, addressed as 11216–11230 Kline Street SW, is a multi-family housing complex including four rectangular, parallel duplexes for a total of eight units constructed in 1940 (Pierce County Assessor 2023). However, this appears to be an error, as historic-period aerials show a U-shaped complex at this location as late as 1955 (NETROnline 2023). Based on materials and design, it appears that only one extant building dates from before 1957, as D. D. Stillman pulled a permit to move an existing duplex to this location in 1957 (Tacoma News Tribune 1957). Based on historic-period aerials, all additional buildings date from ca. 1960 (NETROnline 2023; Pierce County Assessor 2023). All four buildings are rectangular, one-story tall, and face east toward Kline Street SW, separated from one another by narrow strips of lawn.

11216–11218 Kline Street SW

The northernmost building, 11216–11218 Kline Street SW, was constructed ca. 1960 (NETROnline 2023; Pierce County Assessor 2023). It is a narrow, hipped duplex with one entry facing east and another facing south. It sits on a poured-concrete foundation, is clad in lapped wood siding, with some shingle siding remaining on the south elevation, and is topped by a hipped asphalt-shingle roof. Its facade includes a central entry, stoop, and vinyl-frame, sliding window under a projecting shed eave. Its south elevation includes a second entry door and vinyl-frame, sliding windows. Its north elevation includes additional vinyl-frame, sliding windows, one of which is paired with a wooden flower box.

11220–11222 Kline Street SW

The building at 11220–11222 Kline Street SW, was constructed ca. 1960 (NETROnline 2023; Pierce County Assessor 2023). It is a narrow, side-gabled duplex with its wide facade and primary entries under a projecting shed eave facing south. It sits on a poured-concrete foundation and is clad in cement boards with manufactured shingles under the eaves. It is topped by a side-gabled, asphalt-shingle roof. The facade includes a primary and secondary entry door and three vinyl-frame, sliding windows. Its east elevation includes one additional vinyl-frame, sliding window, and its north elevation includes two additional secondary entries paired with vinyl-frame, sliding windows.

11224–11226 Kline Street SW

The building at 11224–11226 Kline Street SW was constructed ca. 1940, and based on materials and condition is likely the building moved to this location in 1957. It may have provided a model for additional construction (NETROnline 2023; Pierce County Assessor 2023; Tacoma News Tribune 1957). The building 11224 Kline Street SW is a narrow, hipped, duplex with an entry facing east and another facing north. It sits on a poured-concrete foundation, is clad in lapped wood siding, and is topped by a hipped, asphalt-shingle roof with projecting shed eave over the east-facing facade. The facade includes a central entry door paired with two one-over-one, wood-frame windows. Its north elevation includes a second entry paired with wood-frame windows, a trio of wood-frame, one-over-one windows, and three vinyl-frame, sliding windows with a secondary entry door. The building's south elevation includes wood-frame, one-over-one windows grouped in twos and threes, plus two additional vinyl-frame, sliding windows.

11228–11230 Kline Street SW

The southernmost building, adjacent to the AI, 11228–11230 Kline Street SW was constructed ca. 1960 (NETROnline 2023; Pierce County Assessor 2023). It is a narrow, side-gabled duplex with its wide south-facing facade and primary entries under two projecting shed eaves facing south. It sits on a poured-concrete foundation and is clad



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730716

primarily in cement boards with manufactured shingles under the eaves. It is topped by a side-gabled, asphalt-shingle roof. The south-facing facade retains cedar shingle siding and includes primary and secondary entry doors under projecting eaves and five vinyl-frame, sliding windows. Its west elevation includes an additional vinyl-frame, sliding window, and its north elevation includes two additional secondary entries paired with vinyl-frame, sliding windows.

Bibliography:

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

NETROnline. 2023. Historic Aerials, Pierce County. Electronic document, <https://www.historicaerials.com/>, accessed April 20, 2023.

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Tacoma News Tribune. 1955. Apt. gas range, 4-burner, ad., July 9.
Tacoma News Tribune. 1957. Building Permits, October 27.

Tacoma Public Library. 2023. Tacoma-Pierce County Building Index. Electronic document, <https://cdm17061.contentdm.oclc.org/digital/collection/p17061coll1>, accessed March 29, 2023.

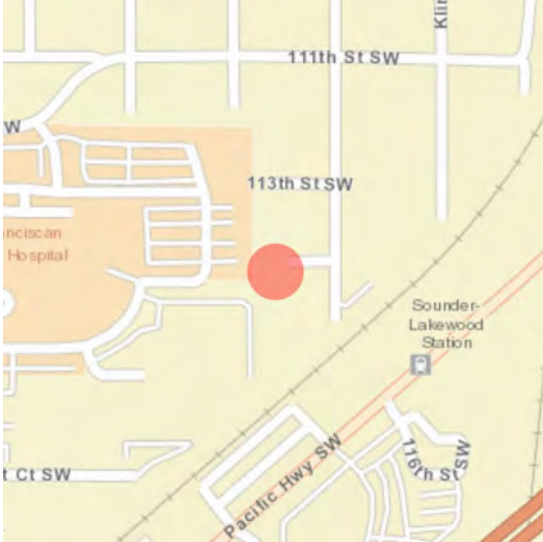


Historic Property Report

Historic Name: Industrial and Multi-family Residence

Property ID: 730667

Location



Address: 4610 113th St SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219122167

Geographic Areas: T19R02E12, Pierce County, TACOMA SOUTH Quadrangle, Pierce County Certified Local Government, Lakewood Certified Local Government

Information

Number of stories: N/A

Construction Dates:

Construction Type	Year	Circa
Built Date	1955	<input type="checkbox"/>
Built Date	1959	<input type="checkbox"/>
Built Date	1977	<input type="checkbox"/>
Built Date	2006	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Commerce/Trade	Commerce/Trade - Business
Commerce/Trade	Commerce/Trade - Warehouse
Domestic	Domestic - Multiple Family House
Commerce/Trade	Commerce/Trade - Business
Commerce/Trade	Commerce/Trade - Warehouse
Domestic	Domestic - Multiple Family House



Historic Property Report

Historic Name: Industrial and Multi-family Residence

Property ID: 730667

Historic Context:

Category

Architecture

Architect/Engineer:

Category

Name or Company

Thematics:

Local Registers and Districts

Name

Date Listed

Notes

Project History

Project Number, Organization, Project Name

Resource Inventory

SHPO Determination

SHPO Determined By, Determined Date

2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2

Survey/Inventory



Historic Property Report

Historic Name: Industrial and Multi-family Residence

Property ID: 730667

Photos



4610 113th Street SW, view northwest - 2.jpg



4610 113th Street SW, view west.jpg



Historic Property Report

Historic Name: Industrial and Multi-family Residence

Property ID: 730667

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Form Type	Utilitarian
Roof Material	Metal - Standing Seam
Cladding	Wood - T 1-11
Foundation	Concrete - Poured
Cladding	Wood - T 1-11
Roof Type	Flat with Eaves
Foundation	Concrete - Block
Roof Type	Gable - Side
Roof Material	Asphalt/Composition - Shingle
Structural System	Masonry - Concrete Block
Form Type	Multiple Dwelling
Form Type	Commercial

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion



Historic Property Report

Historic Name: Industrial and Multi-family Residence

Property ID: 730667

Significance narrative:

Integrity

From its period of earliest construction (1955), the complex of commercial and industrial resources at 4610 113th Street SW has been developed and redeveloped through successive waves of construction and demolition (NETROnline 2023; Pierce County Assessor 2023).

Resources at this location retain integrity of location, as the complex remains on a large parcel north of the railroad tracks. The complex does not retain integrity of setting, as the once rural area has been developed with commercial and residential construction. It does not retain integrity of design, materials, workmanship, feeling, or association, as waves of successive demolition, development and renovation have altered the complex's footprint, materials, and patterns of use. Additionally, the shed (1955) and office (1959) have been renovated with replacement siding and roofing and do not individually retain integrity of design, materials, workmanship, or feeling (NETROnline 2023).

Evaluation

The industrial and commercial resources at 4610 113th Street SW were constructed between 1955 and 2007 and are associated with industrial materials and storage. They do not appear, based on a review of historic maps and local histories, to hold any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resources with the lives of significant persons (Criterion B). The storage shed (1955) and office (1959) are utilitarian in nature. Constructed in rectangular plans with few character-defining features apart from their simple footprints and mass-produced materials, the resources do not possess the distinctive characteristics of a particular type, period, or method of construction. They do not possess high artistic values. They do not appear to represent the works of a master or to represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district) (Criterion C). Finally, the buildings were built of common construction methods and well-known materials and are unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends that resources at 4610 113th Street SW, not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Industrial and Multi-family Residence

Property ID: 730667

Physical description:

According to the Pierce County Assessor, the parcel addressed as 4610 113th Street SW includes five buildings constructed between 1955 and 2007 (Pierce County Assessor 2023). Buildings include a shed from 1955, an office from 1959, an apartment building from 1977, and two additional storage buildings from 2006 and 2007, which were too young to qualify for listing and not recorded (Pierce County Assessor 2023). The 2.53-acre parcel is devoted to materials storage at the industrial south end (within the AI), which includes a series of office, shed, and storage buildings (1955 to 2007). North of the AI is a multi-family residential building added in 1977 (Pierce County Assessor 2023). As it is not within the AI and not within view of project elements, it was not recorded.

Storage Shed

The storage shed, located in the center of the parcel, was constructed in 1955 (Pierce County Assessor 2023). It is a single-story warehouse of concrete block topped by T1-11. Its opening on the south end is enclosed by sliding garage doors clad in T1-11 on tracks. The building is topped by a standing-seam metal roof. No other fenestration was visible.

Office

The office, located in the center of the parcel, was constructed in 1959 (Pierce County Assessor 2023). It is a small, square, single-story building facing east toward the storage warehouse. It sits on a concrete foundation, is clad in T1-11, and is topped by a flat roof with a flat, projecting eave over the eastern entry. The facade includes a central pedestrian door flanked by two large windows enclosed by heavy mesh screens. Secondary elevations were minimally visible from the public ROW but appeared to include additional window openings.

Bibliography:

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

NETROnline. 2023. Historic Aerials, Pierce County. Electronic document, <https://www.historicaerials.com/>, accessed April 20, 2023.

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

Tacoma News Tribune. 1961. Congratulations Masonry Trade and Bricklayer Apprentices, ad., March 10.

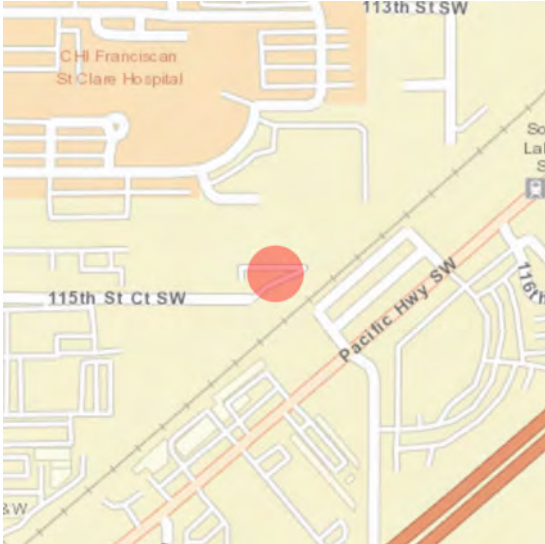


Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 154009

Location



Address: 4801 115TH StCt SW, LAKEWOOD, WA 98499
Tax No/Parcel No: 2650000050
Plat/Block/Lot: Section 12 Township 19 Range 02 Quarter 22 BRIDGEP
Geographic Areas: Pierce County, TACOMA SOUTH Quadrangle, T19R02E12

Information

Number of stories: 2.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1962	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Multiple Family House
Domestic	Domestic - Multiple Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
Builder	Unknown
Engineer	Unknown



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 154009

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
040814-28-FCC, , Sound Transit Positive Train Control (PTC) - formerly North Corridor Transit Project		Determined Not Eligible	, 5/13/2014
2011-06-00083, , Assessors Data Project: Pierce County 6		Not Determined	
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	

Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 154009

Photos



4801 115th Street Court SW, view north.jpg



4801 115th Street Court SW, view northeast.jpg



Primary facade faces south



Southeast corner



Northeast corner (back of building)



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 154009

Inventory Details - 7/6/2011

Common name: 4801 115th St. CT SW
Date recorded: 7/6/2011
Field Recorder: Artifacts Consulting, Inc.
Field Site number:
SHPO Determination

Detail Information

Characteristics:

Category	Item
Form Type	Multiple Dwelling
Structural System	Wood - Platform Frame

Surveyor Opinion

Physical description: The building at 4801 115th Street Court SW, Lakewood, is located in Pierce County. According to the county assessor, the structure was built in 1962 and is a multiple family house. Also according to the county assessor, the structure was remodeled in 1980. The 2-story, platform frame building has a roof clad in an unknown material. The walls of the multi-family form are clad principally in an unknown material.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 154009

Inventory Details - 12/12/2013

Common name: 4801 115th St. CT SW
Date recorded: 12/12/2013
Field Recorder: C. Beckner
Field Site number:
SHPO Determination 040814-28-FCC determined on 5/13/2014

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Structural System	Wood - Platform Frame
Plan	Rectangle
Cladding	Wood - T 1-11
Roof Type	Flat with Eaves
Form Type	Multiple Dwelling - Multi-Story Apartment Block

Styles:

Period	Style Details
Modern Movement (1930-1970)	Modern

Surveyor Opinion

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): Yes

Significance narrative: The apartment complex at 4801 115th St Ct SW represents a relatively commonplace example of mid-century architecture that appears to lack sufficient distinction, high artistic values, or association with a master necessary for NRHP eligibility under Criterion C at a local, state, or national level. The property is not located in a historic district, and therefore does not contribute to a significant and distinctive entity whose components lack individual distinction. The property was evaluated at a reconnaissance level only, and was not evaluated for eligibility under Criteria A, B, or D.

Physical description: This 16,000 square foot, multi-family, residential building is two stories, rectangular in plan, with a gallery on the second floor of its south-facing primary facade. The walkway and three sets of stairs shelter under a projecting flat roof. The building sits on a concrete foundation, is clad in wood sheet, and includes vinyl windows on all units. Stairs and railings are metal with decorative wood panels.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 154009

Inventory Details - 4/17/2023

Common name: Twin Oaks Apartment

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Cladding	Wood - T 1-11
Roof Type	Gable - Side
Roof Material	Asphalt/Composition - Shingle
Plan	Rectangle
Form Type	Multiple Dwelling - Multi-Story Apartment Block

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 154009

Significance narrative:

Integrity

The apartment complex at 4801 115th Street Court SW was once paired with a heated pool, which has since been filled or removed, the land converted to parking. Additionally, newspaper articles detail at least three fires at the complex beginning in the 1990s, the most recent of which “gutted nine apartments.” Phases of repair and replacement may have contributed to evident alterations in materials (Tacoma News Tribune 2012).

From its period of construction (1962), the rectangular apartment block at 4801 115th Street Court SW retains integrity of location and setting, as it remains on its original parcel and retains its relationship to adjacent transportation networks and multi-family residential development. It does not retain integrity of design, materials, workmanship, or feeling, due to alterations including incompatible window and siding replacement, as well as the loss of its associated swimming pool. The building does retain integrity of association, as it continues to serve its original purpose as multi-family housing.

Evaluation

The apartment complex at 4801 115th Street Court SW, known as the Twin Oaks (formerly Ray Mar) apartments, was constructed in 1962, and early aerial images and newspaper articles indicate that it included a heated pool, once located in its large parking lot. The pool has since been removed or filled (NETROnline 2023; Tacoma News Tribune 1971).

The Ray Mar Apartments were constructed as multi-family housing. While local development was often associated with general patterns in transportation and housing in Pierce County, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010). The base has shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis 2023).

It does not appear, based on a review of historic maps and local histories, that the Twin Oaks Apartments held important associations with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The apartment building is rectangular in plan, utilitarian in design, with few character-defining features apart from its plan, which stacks residential units on two floors. Alterations to siding and window materials have obscured its original character. The building does not possess the distinctive characteristics of a particular type, period, or method of construction. It does not possess high artistic values. It does not appear to represent the works of a master or to represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district) (Criterion C). Finally, the buildings were built of common construction methods and well-known materials and are unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the apartment complex at 4801 115th Street Court SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 154009

Physical description: According to the Pierce County Assessor, the Twin Oaks apartment building at 4801 115th Street Court SW was constructed in 1962 (Pierce County Assessor 2023). The two-story, rectangular building faces parking lots to the south. The building sits on a poured-concrete foundation, is clad in T1-11 siding, and is topped by a shallow, side-gable roof covered in asphalt shingles.

The building's south-facing facade includes an upper story balcony that shelters a concrete walk on the lower floor. The balcony and the projecting eave above it are supported by round metal posts. Three exterior stairways access the balcony level, which includes a metal railing with metal panels. On the first and second floors, units are identified by single pedestrian doors paired with one large, vinyl-frame, sliding window. No other fenestration is visible. Side elevations are bare. The rear elevation, which was not visible from the public ROW, faces a narrow lawn.

Bibliography:

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

NETROnline. 2023. Historic Aerials, Pierce County. Electronic document, <https://www.historicaerials.com/>, accessed April 20, 2023.

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

Tacoma News Tribune. 1971. Near McChord, Ray Mar Apartments, ad., October 8.
Tacoma News Tribune. 2012. Weekend Apartment Fire Displaces 26 People, May 1.

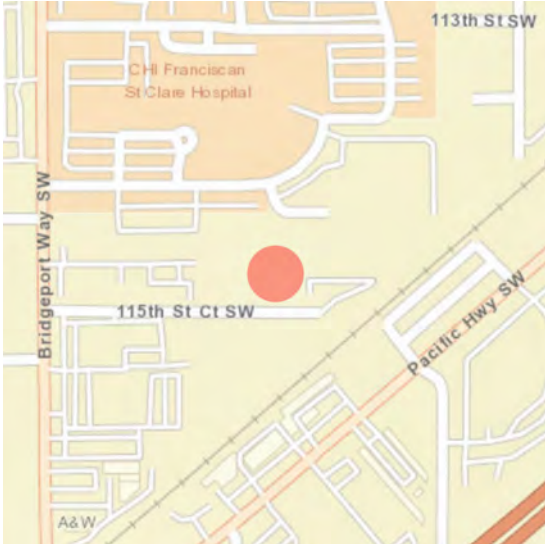


Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153976

Location



Address: 4815 115TH StCt SW, LAKEWOOD, WA 98499
Tax No/Parcel No: 2650000030
Plat/Block/Lot: Section 12 Township 19 Range 02 Quarter 22 BRIDGEP
Geographic Areas: Pierce County, STEILACOOM Quadrangle, T19R02E12

Information

Number of stories: 2.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1963	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Multiple Family House
Domestic	Domestic - Multiple Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
Engineer	Unknown



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153976

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
040814-28-FCC, , Sound Transit Positive Train Control (PTC) - formerly North Corridor Transit Project		Determined Not Eligible	, 5/13/2014
2011-06-00083, , Assessors Data Project: Pierce County 6		Not Determined	
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	

Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153976

Photos



4815 115th Street Court SW, view northeast - 2.jpg



4815 115th Street Court SW, view northeast.jpg



Interior courtyard



South elevation



Apartments on west elevation



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153976

Inventory Details - 7/6/2011

Common name: 4815 115th St CT SW
Date recorded: 7/6/2011
Field Recorder: Artifacts Consulting, Inc.
Field Site number:
SHPO Determination

Detail Information

Characteristics:

Category	Item
Form Type	Multiple Dwelling
Structural System	Wood - Platform Frame

Surveyor Opinion

Physical description: The building at 4815 115th Street Court SW, Lakewood, is located in Pierce County. According to the county assessor, the structure was built in 1963 and is a multiple family house. Also according to the county assessor, the structure was remodeled in 1980. The 2-story, platform frame building has a roof clad in an unknown material. The walls of the multi-family form are clad principally in an unknown material.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153976

Inventory Details - 12/12/2013

Common name: 4815 115th St CT SW
Date recorded: 12/12/2013
Field Recorder: C. Beckner
Field Site number:
SHPO Determination 040814-28-FCC determined on 5/13/2014

Detail Information

Characteristics:

Category	Item
Structural System	Wood - Platform Frame
Plan	L-Shape
Form Type	Multiple Dwelling - Multi-Story Apartment Block
Roof Type	Flat with Eaves
Foundation	Concrete - Poured
Cladding	Wood - T 1-11

Styles:

Period	Style Details
Modern Movement (1930-1970)	Modern

Surveyor Opinion

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): Yes

Significance narrative: The apartment complex at 4815 115th St Ct SW represents a relatively commonplace example of mid-century architecture that appears to lack sufficient distinction, high artistic values, or association with a master necessary for NRHP eligibility under Criterion C at a local, state, or national level. The property is not located in a historic district, and therefore does not contribute to a significant and distinctive entity whose components lack individual distinction. The property was evaluated at a reconnaissance level only, and was not evaluated for eligibility under Criteria A, B, or D.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153976

Physical description:

This 11,348 square foot residential building is L-shaped, two stories tall, and faces south. Paired with 4901 115th Ct SW, the building forms a U around an internal grassy courtyard with paved paths. The building sits on a concrete foundation, is primarily clad in wood sheet, and is topped by a flat roof that projects in places to form covered balconies and covered porches for the apartments. Projecting eaves are supported by square wood posts and the balcony is fronted by a half-wall of framed wood panels. Apartments include aluminum windows and metal doors. A one-story screen of decorative concrete block faces south, providing privacy to stairwells and the bottom floor apartments. According to assessor's records, alterations from 1980 consisted primarily of asphalt paving and concrete work.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153976

Inventory Details - 4/17/2023

Common name: Cascade Village Apartment

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Cladding	Fiber Cement Board
Roof Type	Flat with Eaves
Roof Material	Asphalt/Composition - Built Up
Plan	L-Shape
Form Type	Multiple Dwelling - Multi-Story Apartment Block

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion

Significance narrative: Integrity
 From its period of construction (1963), the apartment block at 4815 115th Street Court SW retains integrity of location and setting, as it remains among other apartment buildings on its original parcel. The building does not retain integrity of design, materials, or workmanship, due to incompatible window and siding replacement. The building does retain integrity of feeling and association, as it continues to serve its original purpose as multi-family housing.

Evaluation

The Cascade Village Apartment building at 4815 115th Street Court SW, advertised in the Tacoma News Tribune in the 1970s as the "Golden Finial" apartments, was completed in 1963 (Tacoma News Tribune 1970). A permit was pulled in 1962 by local real estate developer Boyd Lundstrom for the 28-unit, \$150,000 construction project (Tacoma News Tribune 1962a). According to the News Tribune, the building was part of a project expected to include 100 units. "Component parts for the building were assembled by the Fairliner Structures Division of Western Boat Building Corp. of Tacoma" (Tacoma News Tribune 1962b).

The apartment complex at 4815 115th Street Court SW was constructed during a period when Lakewood and other communities along the new route of I-5 were growing. While development was often associated with general patterns in transportation and housing



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153976

Pierce County, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010). The base has shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis 2023).

Boyd Lundstrom was an active real estate developer in Lakewood and Tacoma in the 1960s and 1970s, constructing single-family and multi-family housing along with commercial development. He served as the 1964 president of the Master Builders Association of Pierce County and advocated for affordability and new building practices that could lower costs for consumers. In the 1980s and 1990s, he was best known as a voice against incorporation for Lakewood, an effort attempting to limit government interference. Incorporation passed in spite of his opposition in 1996 (Tacoma News Tribune 1990). While the building was developed by Lundstrom, research did not reveal that this location holds any significant association with him.

It does not appear, based on a review of historic maps and local histories, that the building had any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons, apart from Lundstrom. The building's association with Lundstrom does not rise to the level of significance required to qualify under Criterion B (Criterion B). The apartment building is L-shaped in plan, utilitarian in design, with few character-defining features apart from its plan, which stacks residential units. Alterations to siding and window materials have obscured its original character. The building does not possess the distinctive characteristics of a particular type, period, or method of construction. It does not possess high artistic values, and it does not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district). It is one of many buildings associated with developer Boyd Lundstrom, but it does not appear to represent the works of a master (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the apartment block at 4815 115th Street Court SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153976

Physical description: According to the Pierce County Assessor, the Cascade Village Apartment building at 4815 115th Street Court SW was constructed in 1963, one year after the first Cascade Village Apartment building, addressed as 4901 115th Street Court SW and located to the west. The two buildings are mirror images of one another. The building at 4901 115th Street Court SW is evaluated separately.

The building at 4815 115th Street Court SW is two stories tall, L-shaped in plan, and faces parking lots to the southwest. The building sits on a poured-concrete foundation, is clad in cement boards, and is topped by a flat built-up roof with deep eaves.

The building's southwest-facing facade includes partial upper story balconies that shelter concrete stoops on the lower floor. The balconies and the projecting eaves above them are supported by square metal posts. Interior stairways access the balconies, which include metal railings. On the first and second floors, units are identified by single pedestrian doors flanked by three-part, vinyl-frame picture windows on one side and large, vinyl-frame, sliding windows on the other. No other fenestration is visible. Side elevations are bare but include minor projections for the second floor. The rear elevations, where visible from the public ROW, include small, vinyl-frame, sliding windows on both floors.

Bibliography:

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

Tacoma News Tribune. 1962a. Big Apartment Permit Issued, January 31.

Tacoma News Tribune. 1962b. Lakes Builder Gets Permit, February 4.

Tacoma News Tribune. 1990. Boyd Lundstrom Is a Veteran of Previous Cityhood Battle, March 28.

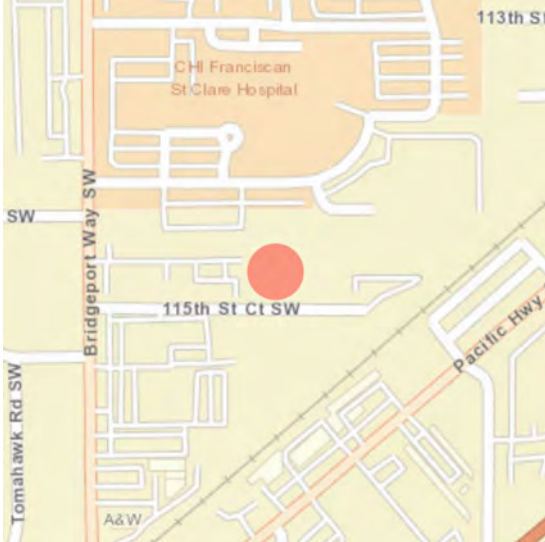


Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153974

Location



Address: 4901 115TH StCt SW, LAKEWOOD, WA 98499
Tax No/Parcel No: 2650000020
Plat/Block/Lot: Section 12 Township 19 Range 02 Quarter 22 BRIDGEP
Geographic Areas: Pierce County, STEILACOOM Quadrangle, T19R02E12

Information

Number of stories: 2.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1962	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Multiple Family House
Domestic	Domestic - Multiple Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
Engineer	Unknown



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153974

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
040814-28-FCC, , Sound Transit Positive Train Control (PTC) - formerly North Corridor Transit Project		Determined Not Eligible	, 5/13/2014
2011-06-00083, , Assessors Data Project: Pierce County 6		Not Determined	
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	

Photos



4901 115th Street Court SW, view north - 2.jpg



4901 115th Street Court SW, view north.jpg



South elevation



Southeast corner



Southeast corner



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153974

Inventory Details - 7/6/2011

Common name: 4901 115th St CT SW
Date recorded: 7/6/2011
Field Recorder: Artifacts Consulting, Inc.
Field Site number:
SHPO Determination

Detail Information

Characteristics:

Category	Item
Form Type	Multiple Dwelling
Structural System	Wood - Platform Frame

Surveyor Opinion

Physical description: The building at 4901 115th Street Court SW, Lakewood, is located in Pierce County. According to the county assessor, the structure was built in 1962 and is a multiple family house. Also according to the county assessor, the structure was remodeled in 1980. The 2-story, platform frame building has a roof clad in an unknown material. The walls of the multi-family form are clad principally in an unknown material.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153974

Inventory Details - 12/12/2013

Common name: 4901 115th St CT SW
Date recorded: 12/12/2013
Field Recorder: C. Beckner
Field Site number:
SHPO Determination 040814-28-FCC determined on 5/13/2014

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Roof Type	Flat with Eaves
Plan	L-Shape
Form Type	Multiple Dwelling - Multi-Story Apartment Block
Cladding	Wood - T 1-11
Structural System	Wood - Platform Frame

Styles:

Period	Style Details
Modern Movement (1930-1970)	Modern

Surveyor Opinion

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): No

Property potentially contributes to a historic district (National and/or local): Yes

Significance narrative: The apartment complex at 4901 115th St Ct SW represents a relatively commonplace example of mid-century architecture that appears to lack sufficient distinction, high artistic values, or association with a master necessary for NRHP eligibility under Criterion C at a local, state, or national level. The property is not located in a historic district, and therefore does not contribute to a significant and distinctive entity whose components lack individual distinction. The property was evaluated at a reconnaissance level only, and was not evaluated for eligibility under Criteria A, B, or D.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153974

Physical description:

This 11,072 square foot residential building is L-shaped, two stories tall, and faces south. Paired with 4815 115th Ct SW, the building forms a U around an internal grassy courtyard with paved paths. The building sits on a concrete foundation, is clad in a combination of wood sheet and aluminum siding, and is topped by a flat roof that projects to form a covered gallery for second story apartments. Eaves are supported by square wood posts and the gallery is fronted by a half wall railing of framed wood panels. Apartments include aluminum windows and metal doors. A privacy screen of vertical wood members shields an exterior stair that faces the street.

According to assessor's records, alterations from 1980 consisted primarily of asphalt paving and concrete work.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153974

Inventory Details - 4/17/2023

Common name: Cascade Village Apartment

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Cladding	Fiber Cement Board
Roof Type	Flat with Eaves
Roof Material	Asphalt/Composition - Built Up
Plan	L-Shape
Form Type	Multiple Dwelling - Multi-Story Apartment Block

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion

Significance narrative: Integrity
 From its period of construction (1962), the apartment block at 4901 115th Street Court SW retains integrity of location and setting, as it remains among other apartment buildings on its original parcel. The building does not retain integrity of design, materials, or workmanship, due to incompatible window and siding replacement. The building does retain integrity of feeling and association, as it continues to serve its original purpose as multi-family housing.

Evaluation

The Cascade Village Apartment building at 4901 115th Street Court SW, advertised in the Tacoma News Tribune in the 1960s as the "Butler House" apartments, was completed in 1962, a year before the second Cascade Village Apartment building to the west (Tacoma News Tribune 1962c). A permit was pulled in 1962 by local real estate developer Boyd Lundstrom for the 28-unit, \$150,000 construction project (Tacoma News Tribune 1962a). According to the News Tribune, the building was part of a project expected to include 100 units. "Component parts for the building were assembled by the Fairliner Structures Division of Western Boat Building Corp. of Tacoma" (Tacoma News Tribune 1962b).

The apartment complex at 4901 115th Street Court SW was constructed during a period when Lakewood and other communities along the new route of I-5 were growing. While development was often associated with general patterns in transportation and housing in



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153974

Pierce County, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010). The base has shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis 2023).

Boyd Lundstrom was an active real estate developer in Lakewood and Tacoma in the 1960s and 1970s, constructing single-family and multi-family housing along with commercial development. He served as the 1964 president of the Master Builders Association of Pierce County and advocated for affordability and new building practices that could lower costs for consumers. In the 1980s and 1990s, he was a voice against incorporation for Lakewood, an effort attempting to limit government interference. Incorporation passed in spite of his opposition in 1996 (Tacoma News Tribune 1990). While the building was developed by Lundstrom, research did not reveal that this location holds any significant association with him.

Research did not reveal the building to have any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons, apart from Lundstrom. The building's association with Lundstrom does not rise to the level of significance required to qualify under Criterion B (Criterion B). The apartment building is L-shaped in plan, utilitarian in design, with few character-defining features apart from its plan, which stacks residential units on two floors. Alterations to siding and window materials have obscured its original character. The building does not possess the distinctive characteristics of a particular type, period, or method of construction. It does not possess high artistic values, and it does not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district). It is one of many buildings associated with developer Boyd Lundstrom, but it does not appear to represent the works of a master (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the apartment block at 4901 115th Street Court SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 153974

Physical description: According to the Pierce County Assessor, the Cascade Village Apartment building at 4901 115th Street Court SW was constructed in 1962, one year before the Cascade Village Apartment building addressed as 4815 115th Street Court SW and located to the west. The two buildings are mirror images of one another. The building at 4815 115th Street Court SW is evaluated separately.

The building at 4901 115th Street Court SW is two stories tall, L-shaped in plan, and faces parking lots to the southeast. The building sits on a poured-concrete foundation, is clad in cement boards, and is topped by a flat built-up roof with deep eaves. Applied signage on the south elevation reads "Cascade Village Apartments".

The building's southeast-facing facade includes an upper story balcony that shelters a concrete walk on the lower floor. The balcony and the projecting eave above it is supported by square posts. Exterior stairways access the balcony, which includes metal railings. On the first and second floors, units are identified by single pedestrian doors flanked by three-part, vinyl-frame picture windows with some vinyl-frame, sliding windows. The south elevation includes signage and vinyl-frame, three-part windows. The rear elevations, where visible from the public ROW, include various sizes of vinyl-frame, sliding windows on both floors and pedestrian doors on the bottom floor.

Bibliography:

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

Tacoma News Tribune. 1962a. Big Apartment Permit Issued, January 31.

Tacoma News Tribune. 1962b. Lakes Builder Gets Permit, February 4.

Tacoma News Tribune. 1962c. The Butler House, ad., December 4.

Tacoma News Tribune. 1990. Boyd Lundstrom Is a Veteran of Previous Cityhood Battle, March 28.

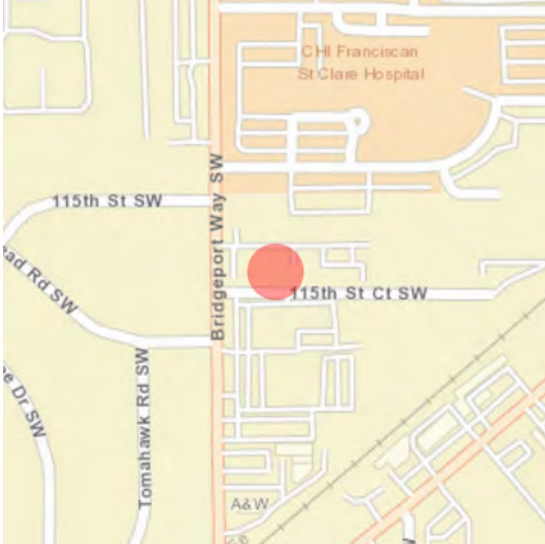


Historic Property Report

Historic Name: Commercial

Property ID: 730670

Location



Address: 11509 Bridgeport Way SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219122065

Geographic Areas: STEILACOOM Quadrangle, Lakewood Certified Local Government, T19R02E12, Pierce County, Pierce County Certified Local Government

Information

Number of stories: 1.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1960	<input type="checkbox"/>
Built Date	1968	<input type="checkbox"/>
Built Date	2002	<input type="checkbox"/>
Addition	2004	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Commerce/Trade	Commerce/Trade - Warehouse
Commerce/Trade	Commerce/Trade - Warehouse

Historic Context:

Category
Architecture



Historic Property Report

Historic Name: Commercial

Property ID: 730670

Architect/Engineer:

Category	Name or Company
Architect	Donald F. Burr

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	

Historic Property Report

Historic Name: Commercial

Property ID: 730670

Photos



11509 Bridgeport Way SW, view east.jpg



11509 Bridgeport Way SW, view northeast.jpg



11509 Bridgeport Way SW, view northeast.jpg



Historic Property Report

Historic Name: Commercial

Property ID: 730670

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Plan	Rectangle
Cladding	Metal - Aluminum Siding
Roof Type	Gable
Roof Material	Metal - Standing Seam
Form Type	Utilitarian
Cladding	Brick
Cladding	Wood - Board & Batten
Roof Type	Gable - Front
Form Type	Commercial

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion

Significance narrative: Integrity
 From its period of original construction (1960), the building complex at 11509 Bridgeport Way SW retains integrity of location and setting, as it remains on its original parcel and is surrounded by development of the same era. It does not retain integrity of design, materials, workmanship, or feeling, due to extensive redevelopment. Since the first buildings were completed in 1960 (warehouse and office), an additional warehouse was added in 1968, and a large office addition was added ca. 2004. The complex is still used by Lakeview Light and Power Co. and retains integrity of association.

Evaluation

According to the Tacoma-Pierce County Building Index, the complex at 11509 Bridgeport Way was constructed in 1960 for Lakeview Light and Power Co., which remains headquartered at this location (TPL 2023). The architect was Donald F. Burr and Associates (Tacoma News Tribune 1982a; TPL 2023). Lakeview Light and Power Co. is a small utility company launched in 1922 as the Lakeview Light & Water Company, a non-profit, which originally leased power from a line that connected Tacoma to a sanitarium



Historic Property Report

Historic Name: Commercial

Property ID: 730670

to the south. The company then constructed branches to distribute power to the surrounding area. According to the company's website:

...by June of 1931 the Company had added 12.5 miles of distribution lines and by June of 1942 was serving 459 accounts. By June of 1945 the membership had increased to 595 and the name of the company was changed to Lakeview Light and Power. By June of 1950 membership had grown to 1,275... today [2023], Lakeview has 2,819 members and serves 10,386 meters with 83 miles of distribution line. [Lakeview Light and Power 2023]

Donald F. Burr (1922–1982) was a local Tacoma architect who appears in news articles as a designer of school buildings and community centers (Tacoma News Tribune 1962d). He does not appear among lists of significant northwest architects established by DAHP or advocacy groups like DOCOMOMO-WEWA, but was a fellow of the American Institute of Architects, and was known for designing the University of Puget Sound Law Center, the chapel at Charles Wright Academy, and Steilacoom High School (Tacoma News Tribune 1982b). While Burr was a local architect, the headquarters building he designed for Lakeview Light and Power has been so heavily altered that his work is no longer discernible. As noted in the Tacoma News Tribune, in 2001, the company undertook a major redesign of its headquarters. “The project would add 2,444 sq. ft. of additional office space, 1,000 sq. ft. of additional garage space, and a pole stack rack” (Tacoma News Tribune 2001).

Based on its role in providing power to portions of Lakewood, the headquarters for Lakeview Light and Power does possess important associations with events that made a significant contribution to the broad patterns of local, state, or national history under the Community Planning and Development area of significance (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The building and its surrounding complex have been heavily altered in recent years. Extensive additions have obscured the complex's historic-period character. The complex is now dominated by an office that resembles a post-modern or Contemporary building from the twenty-first century. The complex no longer possesses the distinctive characteristics of a particular type, period, or method of construction. It does not possess high artistic values, and it does not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district). Due to an irretrievable loss of integrity, the building does not represent the work of a master (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of integrity, Historical Research Associates, Inc., recommends the complex at 11509 Bridgeport Way not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Commercial

Property ID: 730670

Physical description:

According to the Pierce County Assessor, the parcel addressed as 11509 Bridgeport Way SW includes four buildings, a storage warehouse from 1960, an office building from 1960, a storage warehouse from 1968, and a storage warehouse from 2002 (Pierce County Assessor 2023). Historic-period aerial photos indicate that the original buildings on this parcel have been enlarged, connected, and no longer retain their original footprints.

Currently, the parcel includes one large rectangular warehouse on its north edge (constructed in 1960 and enlarged ca. 2004). To the south is an office building with attached warehouse to the rear (the office was constructed in 1960, attached to the warehouse constructed in 1968, and greatly enlarged ca. 2004). A small, detached warehouse was added on the east end of the large parcel in 2002. It is too young to be eligible for NRHP listing and was not recorded. The complex of buildings, used by Lakeview Power and Light, is dominated, from the public ROW, by the 2004 office addition (NETROnline 2023; Pierce County Assessor 2023).

Northern Warehouse

The northern warehouse was constructed in 1960 and enlarged ca. 2004 (NETROnline 2023; Pierce County Assessor 2023). It is rectangular, a single story tall, and sits on a poured-concrete foundation. It is clad in ribbed metal panels and is topped by a shallow gable roof of standing-seam metal with no eave. The south elevation includes numerous garage bays with overhead doors and one pedestrian door. The westernmost garage door is oversized. No other fenestration was visible.

Office Building and Warehouse

The office was constructed in 1960, attached to a rear warehouse constructed in 1968, and then greatly enlarged by an office addition on the facade ca. 2004 (NETROnline 2023; Pierce County Assessor 2023). The building is a single story tall and irregular in plan. The office building and warehouse sits on a poured-concrete foundation, is clad in a combination of brick, board-and-batten, and ribbed metal siding, and is topped by a front-gabled roof with telescoping gable peaks and a raised roof over its central section.

The building's west-facing facade includes a projecting gabled entry supported by brick pillars with round posts. Under the eave is an entry of black glass doors with sidelights topped by a large transom. South of the entry is a wall of brick with no fenestration. North of the entry is a wall with a wide metal-framed window topped by an angled window under the gable. The wall surface is clad in a skirt of brick under board-and-batten siding. Clerestory windows are visible above the facade. The building's north elevation includes a projecting eave supported by bricked posts over a drive-thru bay. The building's south elevation is clad in brick with glazed pedestrian door and full-height window, as well as additional square, metal-frame windows. The rear of the building is enclosed by a privacy fence where it connects to the metal warehouse, which includes one solid pedestrian door on the south elevation.



Historic Property Report

Historic Name: Commercial

Property ID: 730670

Bibliography:

NETROnline. 2023. Historic Aerials, Pierce County. Electronic document, <https://www.historicaerials.com/>, accessed April 20, 2023.

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

Tacoma News Tribune. 1982a. Power Firm Names Manager, January 15.
Tacoma News Tribune. 2001. City of Lakewood, Notice of Public Hearing, Case #LU010012, April 19.

Tacoma Public Library. 2023. Tacoma-Pierce County Building Index. Electronic document, <https://cdm17061.contentdm.oclc.org/digital/collection/p17061coll1>, accessed March 29, 2023.

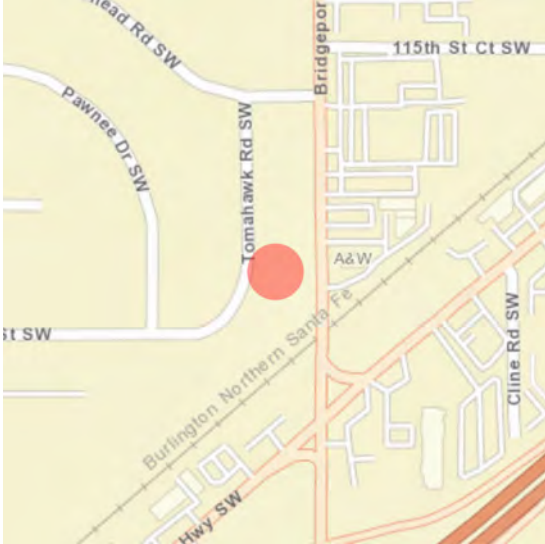


Historic Property Report

Historic Name: Residence

Property ID: 148065

Location



Address: 11803 Tomahawk Rd SW, Lakewood, Washington, 98499
Tax No/Parcel No: 5125200050
Plat/Block/Lot: Section 11 Township 19 Range 02 Quarter 14 LAKEWOO
Geographic Areas: Pierce County, STEILACOOM Quadrangle, T19R02E11

Information

Number of stories: 1.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1956	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Single Family House
Domestic	Domestic - Single Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Residence

Property ID: 148065

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2011-06-00082, , Assessors Data Project: Pierce County 5		Not Determined	
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	



Historic Property Report

Historic Name: Residence

Property ID: 148065

Photos



11803 Tomahawk Road SW, view southeast.jpg



11803 Tomahawk Road SW, view east.jpg



Historic Property Report

Historic Name: Residence

Property ID: 148065

Inventory Details - 7/5/2011

Common name:

Date recorded: 7/5/2011

Field Recorder: Artifacts Consulting, Inc.

Field Site number: 5125200050

SHPO Determination

Detail Information

Characteristics:

Category	Item
Roof Material	Asphalt/Composition - Shingle
Form Type	Single Dwelling
Cladding	Wood
Structural System	Wood - Platform Frame

Surveyor Opinion

Physical description: The house at 11803 Tomahawk SW, Lakewood, is located in Pierce County. According to the county assessor, the structure was built in 1956 and is a single family dwelling. Also according to the county assessor, the structure was remodeled in 1970. The 1-story, platform frame building has a roof clad in asphalt composition shingles. The walls of the single-family form are clad principally in wood. The county assessor also reports that there is an attached garage.



Historic Property Report

Historic Name: Residence

Property ID: 148065

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Plan	L-Shape
Foundation	Concrete - Poured
Cladding	Wood - Shingle
Cladding	Wood - Board & Batten
Roof Type	Gable - Cross
Roof Material	Asphalt/Composition - Shingle
Form Type	Single Dwelling - Cross Gable

Styles:

Period	Style Details
Modern Movement (1930-1970)	Prairie Ranch

Surveyor Opinion



Historic Property Report

Historic Name: Residence

Property ID: 148065

Significance narrative:

Integrity

From its period of construction (1956), the residence at 11803 Tomahawk Road SW retains integrity of location and setting, as it remains on its original parcel and faces additional residential construction. It does not retain integrity of design, material, or workmanship, as historic-period aerials show a garage addition to the south (NETROnline 2023). Field survey identified additional incompatible alterations including an enclosed former garage and replacement windows. The building does retain integrity of feeling and association, as it continues to serve its original purpose as single-family housing.

Evaluation

The residence at 11803 Tomahawk Road SW was constructed in 1956, during a period when Lakewood and other communities along the new route of I-5 added additional residential development. While local development was associated with general patterns in transportation and housing, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010), which shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis 2023).

This house is one of numerous residences added to pre-incorporation Lakewood in the 1950s and 1960s, but it does not appear, based on a review of historic maps and local histories, to have any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The building is an altered example of a modest Ranch house, featuring a single-story plan altered by numerous additions, including prominent gables and vinyl-framed windows. With additions and replacement materials, the building does not possess the distinctive characteristics of its type, period, or method of construction. It does not possess high artistic values or represent the work of a master. It does not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district) (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the residence at 11803 Tomahawk Road SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Residence

Property ID: 148065

Physical description:

According to the Pierce County Assessor, the residence at 11803 Tomahawk Road SW was constructed in 1956 (Pierce County Assessor 2023). The single-story residence faces west and is generally L-shaped in plan. The building sits on a poured-concrete foundation, is clad in shingles with board and batten in the gables, and is topped by a cross-gabled roof covered in asphalt shingles.

The building's west-facing elevation faces Tomahawk Road SW. It includes a front-facing gable with side-gabled wing. The building has been enlarged to the south, with its original single-car garage enclosed and an additional single-car garage attached to the southern end of the wing. Under the gable, the building features a large, vinyl-frame picture window, an external brick chimney, and additional sliding, vinyl-frame windows. The building's entry is located on the north elevation under a projecting gable roof supported by simple square posts. The east elevation includes a second large, vinyl-frame picture window, a pedestrian entry, and additional vinyl-frame, sliding windows. Additional elevations were not visible behind privacy fencing.

Bibliography:

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

NETROnline. 2023. Historic Aerials, Pierce County. Electronic document, <https://www.historicaerials.com/>, accessed April 20, 2023.

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

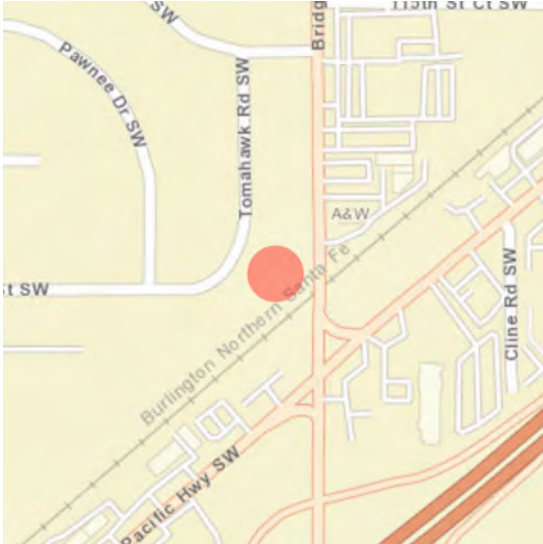


Historic Property Report

Historic Name: Residence

Property ID: 153468

Location



Address: 11811 TOMAHAWK RD SW, LAKEWOOD, WA
Tax No/Parcel No: 5125200060
Plat/Block/Lot: Section 11 Township 19 Range 02 Quarter 14 LAKEWOOD
Geographic Areas: Pierce County, STEILACOOM Quadrangle, T19R02E11

Information

Number of stories: 1.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1957	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Single Family House
Domestic	Domestic - Single Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Residence

Property ID: 153468

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2011-06-00083, , Assessors Data Project: Pierce County 6		Not Determined	
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	

Photos



11811 Tomahawk Road SW, view east.jpg



11811 Tomahawk Road SW, view northeast.jpg



Historic Property Report

Historic Name: Residence

Property ID: 153468

Inventory Details - 7/6/2011

Common name:

Date recorded: 7/6/2011

Field Recorder: Artifacts Consulting, Inc.

Field Site number: 5125200060

SHPO Determination

Detail Information

Characteristics:

Category	Item
Form Type	Single Dwelling
Roof Material	Asphalt/Composition - Shingle
Structural System	Wood - Platform Frame
Cladding	Wood

Surveyor Opinion

Physical description: The house at 11811 Tomahawk Road SW, Lakewood, is located in Pierce County. According to the county assessor, the structure was built in 1957 and is a single family dwelling. Also according to the county assessor, the structure was remodeled in 1971. The 1-story, platform frame building has a roof clad in asphalt composition shingles. The walls of the single-family form are clad principally in wood. The county assessor also reports that there is an attached garage.



Historic Property Report

Historic Name: Residence

Property ID: 153468

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Form Type	Single Dwelling - Ranch
Roof Type	Hip
Roof Material	Asphalt/Composition - Shingle
Cladding	Wood - T 1-11
Cladding	Wood - Shiplap
Plan	Rectangle
Cladding	Stone

Styles:

Period	Style Details
Modern Movement (1930-1970)	Prairie Ranch

Surveyor Opinion



Historic Property Report

Historic Name: Residence

Property ID: 153468

Significance narrative:

Integrity

From its period of construction (1957), 11811 Tomahawk Road SW retains integrity of location and setting, as it remains on its original parcel and faces additional residential construction. It does not retain integrity of design, material, or workmanship, due to incompatible additions including a large wing added to the east and what may be an added garage bay, as indicated by historic-period aerials from between 1995 and 1998 (Pierce County Assessor 2023). Field survey identified additional alterations including incompatible siding and window replacement. The building does retain integrity of feeling and association, as it continues to serve its original purpose as single-family housing.

Evaluation

The residence at 11811 Tomahawk Road SW was constructed in 1957, during a period when Lakewood and other communities along the new route of I-5 added additional residential development. While local development was associated with general patterns in transportation and housing, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010), which shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis 2023).

This house is one of numerous residences added to pre-incorporation Lakewood in the 1950s and 1960s, but it does not appear, based on a review of historic maps and local histories, to have any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The building is an altered example of a modest Ranch house, featuring a single-story plan altered by the addition of manufactured siding and vinyl-framed windows, as well as large additions (Pierce County Assessor 2023). The building does not possess the distinctive characteristics of its type, period, or method of construction. It does not possess high artistic values or represent the work of a master. It does not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district) (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the residence at 11811 Tomahawk Road SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Residence

Property ID: 153468

Physical description: According to the Pierce County Assessor, the single-family residence at 11811 Tomahawk Road SW was constructed in 1957 (Pierce County Assessor 2023). The building is rectangular in plan, a single story tall, and faces west. It sits on a poured-concrete foundation and is clad in lapped wood siding partially topped by T1-11. A skirt of applied manufactured stone is located south of the building's central entry. The building is topped by a hipped roof covered in asphalt shingles.

The building's west-facing facade includes a central recessed entry with stoop and exterior ramp with wood railing. The pedestrian door is paired with a sidelight. North of the entry are two vinyl-frame, sliding windows. South of the entry is a three-part, vinyl-frame window plus additional vinyl-frame, sliding windows. Two garage bays are located in the building's south end. Secondary elevations were not visible behind privacy fencing.

Bibliography:

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

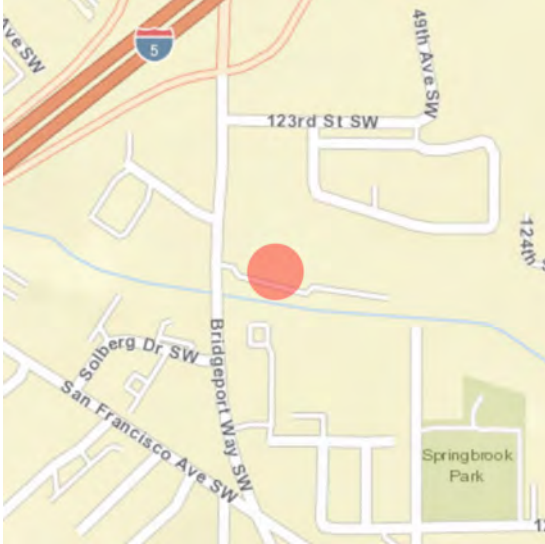


Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730671

Location



Address: 12413 Bridgeport Way SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219123054

Geographic Areas: Lakewood Certified Local Government, Pierce County Certified Local Government, STEILACOOM Quadrangle, T19R02E48, Pierce County

Information

Number of stories: 2.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1955	<input type="checkbox"/>
Built Date	1972	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Multiple Family House
Domestic	Domestic - Multiple Family House

Historic Context:

Category

Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730671

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730671

Photos



12413 Bridgeport Way SW, view east.jpg



12413 Bridgeport Way SW, view south.jpg



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730671

Inventory Details - 4/17/2023

Common name: Gen-Villa Apartment

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Form Type	Multiple Dwelling
Roof Type	Hip
Roof Material	Asphalt/Composition - Shingle
Roof Type	Hip - Hip-on-Gable
Cladding	Brick - Stretcher Bond
Cladding	Wood - Shiplap
Plan	Rectangle

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730671

Significance narrative:

Integrity

From its period of construction (1955 to 1972), the apartment complex at 12413 Bridgeport Way SW retains integrity of location and setting, as it remains on its original parcel surrounded by additional multi-family development. It appears to retain integrity of design, materials, and workmanship, as it retains its original footprint, entry, wood siding, and aluminum-frame windows. It appears to retain integrity of feeling and association, as it performs its original function and continues to serve as multi-family housing.

Evaluation

The Gen-Villa apartment complex at 12413 Bridgeport Way SW was constructed in two phases. The first building was completed in 1955, and a second was added to the rear of the complex in 1972 (NETROnline 2023; Pierce County 2023). The apartment complex was constructed during a period when Lakewood and other communities along the new route of I-5 were growing. While local development was often associated with general patterns in transportation and housing in Pierce County, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010). The base has shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis2023).

Although providing residential units during a period of multi-family construction in today's Lakewood, the two-building complex does not appear, based on a review of historic maps and local histories, to have any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The original apartment building is rectangular in plan, with few character-defining features apart from its projecting entry, which includes some decorative hardware on its doors. The two-building complex does not possess the distinctive characteristics of a particular type, period, or method of construction. It does not possess high artistic values or represent the works of a master. It does not represent a significant and distinguishable entity whose components may lack individual distinction (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance, Historical Research Associates, Inc., recommends the two-building apartment complex at 12413 Bridgeport Way SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730671

Physical description:

According to the Pierce County Assessor, the multi-family apartment block at 12413 Bridgeport Way SW was constructed in 1955, with a second building added to the rear in of the parcel in 1972 (Pierce County Assessor 2023). The primary building is rectangular in plan, two stories tall on the west half and a single story tall on the east half. The building faces west toward Bridgeport Way SW. It sits on a poured-concrete foundation and is clad in running brick on the lower floor and lapped wood siding on the upper floor. The building's lower floor includes a deep hipped eave covered in asphalt shingles, and the partial upper floor includes a hip-on-gable roof with deep eaves covered in asphalt shingles.

The building's west-facing facade includes a projecting central entry. Two wood doors with Gothic hardware are topped with applied signage for "Gen-Villa." Above the entry, in the projecting gable is a painted wood grid. The facade includes no other fenestration, but a segment of breezeblock acts as privacy fencing for entries on the building's north elevation.

The building's north elevation was minimally visible behind privacy fencing and screens on the lower floor but includes shallow porches with glass sliding doors on the lower floor and aluminum-framed windows in the upper floor. The building's south elevation includes mailboxes and angled carports on the lower floor. The upper floor includes aluminum-frame, sliding windows. Gravel paths, stone planter boxes, and lawns are paired with planting beds north and south of the main building and its parking lot.

The complex's secondary rear building was minimally visible from the public ROW, but includes a rectangular, two-story plan with brick siding and aluminum-frame windows.

Bibliography:

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

NETROnline. 2023. Historic Aerials, Pierce County. Electronic document, <https://www.historicaerials.com/>, accessed April 20, 2023.

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.



Historic Property Report

Historic Name: Commercial

Property ID: 730672

Location



Address: 12928 Bridgeport Way SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219132044

Geographic Areas: Lakewood Certified Local Government, STEILACOOM Quadrangle, Pierce County, Pierce County Certified Local Government, T19R02E48

Information

Number of stories: 1.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1960	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Commerce/Trade	Commerce/Trade - Business
Commerce/Trade	Commerce/Trade - Business

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Commercial

Property ID: 730672

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	



Historic Property Report

Historic Name: Commercial

Property ID: 730672

Photos



Bridgeport Way SW, view northwest.jpg



12928 Bridgeport Way SW, view southwest.



Historic Property Report

Historic Name: Commercial

Property ID: 730672

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Form Type	Commercial
Roof Type	Gable - Side
Roof Material	Asphalt/Composition - Shingle
Cladding	Brick - Stretcher Bond
Plan	Rectangle
Cladding	Wood - T 1-11

Surveyor Opinion



Historic Property Report

Historic Name: Commercial

Property ID: 730672

Significance narrative:

Integrity

From its period of construction (1959), the corner store at 12928 Bridgeport Way SW retains integrity of location and setting, as it remains on its original parcel at a busy intersection. It does not retain integrity of design, materials, or workmanship, as its former secondary entry has been enclosed and its siding has been altered as evident from side elevations. It does retain integrity of feeling and association, as it continues to perform its original function as a commercial building.

Evaluation

According to the Tacoma-Pierce County Building Index, the corner store at 12928 Bridgeport Way SW was constructed in 1960 after the builder, H. M. Steele, pulled a permit in 1959 (Tacoma News Tribune 1959). The parcel became home to the Stop-N-Chat Food Mart (TPL 2023). The building changed names numerous times, as indicated by newspaper articles in the Tacoma News Tribune. It was known in the 1980s as Wes' Supermart and since the 1990s as the Olympic Grocery and Deli No. 3 (Tacoma News Tribune 1996).

The corner store at 12928 Bridgeport Way SW was constructed during a period when Lakewood and other communities along the new route of I-5 were growing. Commercial development increased along Bridgeport Way SW, creating an increasingly dense urban fabric in Lakewood. This building is one of many added to the region in the 1950s and 1960s. It does not appear, based on a review of historic maps and local histories, that the building had any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The building is a modest commercial block, rectangular in plan with few character-defining features apart from its footprint and aluminum-framed entry. The building does not possess the distinctive characteristics of a particular type, period, or method of construction, or represent the work of a master, or possess high artistic values. It does not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district) (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the commercial building at 12928 Bridgeport Way SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Commercial

Property ID: 730672

Physical description:

According to the Pierce County Assessor, the single-story commercial building at 12928 Bridgeport Way SW was constructed in 1959 (Pierce County Assessor 2023). The rectangular building faces east toward Bridgeport Way SW. The building sits on a poured-concrete foundation, is constructed of concrete block, and is partially clad in running bond brick and plywood. It is topped by a side-gabled, asphalt-shingle roof.

The building's east-facing facade includes a primary entry near the southeast corner of two glazed aluminum-frame doors with transom flanked north and south by wood-frame windows. North of the entry, all openings have been covered in plywood. It is not clear if original window materials remain. The northeast corner once included an additional entry that has been fully enclosed by plywood and sliding metal fencing. Windows on the secondary south elevation have been covered with security bars. The north elevation has been enclosed by privacy fencing and is minimally visible. No fenestration was visible on the south and west elevations. The south elevation includes some board siding, some brick, and concrete block.

A T1-11-clad building used by a drive-thru espresso business is located in the parcel's southeast corner. It is not clear from aerial imagery when it was constructed, although such buildings are generally not old enough to qualify for listing in registers of historic places.

Bibliography:

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

Tacoma News Tribune. 1959. R. M. Steele, Conditional Permit, June 30.

Tacoma News Tribune. 1996. Jung Yong and Sun Soon Park, dba Olympic Grocery and Deli No. 3, November 17.

Tacoma Public Library. 2023. Tacoma-Pierce County Building Index. Electronic document, <https://cdm17061.contentdm.oclc.org/digital/collection/p17061coll1>, accessed March 29, 2023.



Historic Property Report

Historic Name: Residence

Property ID: 730673

Location



Address: 4911 McChord Dr SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219132043

Geographic Areas: STEILACOOM Quadrangle, Pierce County Certified Local Government, Pierce County, Lakewood Certified Local Government, T19R02E48

Information

Number of stories: 1.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1944	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Single Family House
Domestic	Domestic - Single Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Residence

Property ID: 730673

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	



Historic Property Report

Historic Name: Residence

Property ID: 730673

Photos



4911 McChord Drive SW, view northwest.jpg



4911 McChord Drive SW, view northeast.jpg



Historic Property Report

Historic Name: Residence

Property ID: 730673

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Plan	Rectangle
Cladding	Brick - Stretcher Bond
Roof Type	Gable - Side
Form Type	Single Dwelling - Side Gable
Roof Material	Asphalt/Composition - Shingle

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion



Historic Property Report

Historic Name: Residence

Property ID: 730673

Significance narrative:

Integrity

From its date of construction (1944), the residence at 4911 McChord Drive SW retains integrity of location and setting, as it remains on its original parcel adjacent to JBLM. It does not retain integrity of design, materials, and workmanship, due to alterations and additions screening the porch (added windows and turned posts) along with window replacements. It does retain integrity of feeling and association, as it continues to serve its original function as single-family housing.

Evaluation

The residence at 4911 McChord Drive SW was constructed in 1944, during the post-war period when Lakewood and other communities along the new route of I-5 added additional residential development. While development was associated with general patterns in transportation and housing, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010), which shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis 2023).

This house is one of numerous residences added to pre-incorporation Lakewood in the mid-twentieth century, but it does not appear, based on a review of historic maps and local histories, to have any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The building is an altered example of a modest Minimal Traditional residence with few character-defining features apart from its footprint and brick siding (Pierce County Assessor 2023). The building does not possess the distinctive characteristics of its type, period, or method of construction. It does not possess high artistic values or represent the work of a master. It does not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district) (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the residence at 4911 McChord Drive SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Residence

Property ID: 730673

Physical description: According to the Pierce County Assessor, the single-family residence at 4911 McChord Drive SW was constructed in 1944. The building is rectangular in plan, a single story tall, and paired with a detached garage to the north. The residence and garage face south toward McChord Drive SW. Both buildings are obscured by a hedge of mature foliage and fencing. The primary building is clad in running bond brick and is topped by a side-gabled roof with a deep projecting eave over the entry porch.

The primary building's facade includes a recessed entry on its southeast corner with a large, three-part, vinyl-frame window facing south and a single pedestrian door. The porch includes brick porch posts that have been paired with repurposed wood-frame windows and turned posts added to partially enclose the porch space. West of the recessed entry is an additional vinyl-frame window. On the building's east elevation is a second large, vinyl-frame picture window and wood siding in the gable. Vinyl-frame windows and siding in the gable are also evident on the west elevation. The detached single-car garage is clad in cement boards with wood siding in the gable. It includes a single garage bay with overhead door.

Bibliography: Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

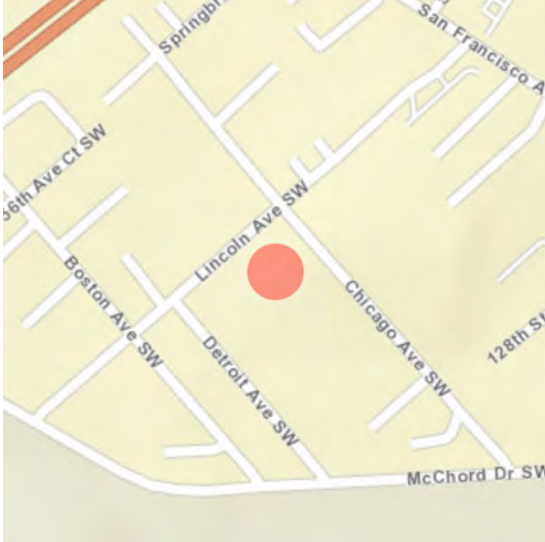


Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730674

Location



Address: 12809 Lincoln Ave SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219114146

Geographic Areas: Lakewood Certified Local Government, Pierce County Certified Local Government, T19R02E48, Pierce County, STEILACOOM Quadrangle

Information

Number of stories: 2.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1977	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Multiple Family House
Domestic	Domestic - Multiple Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730674

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730674

Photos



12809 Lincoln Avenue SW, view southeast.jpg



12809 Lincoln Avenue SW, view southwest.jpg



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730674

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Form Type	Multiple Dwelling - Multi-Story Apartment Block
Roof Type	Hip
Roof Material	Asphalt/Composition - Shingle
Cladding	Vinyl Siding
Plan	Rectangle

Surveyor Opinion



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730674

Significance narrative:

Integrity

From its period of construction (1977), the apartment complex at 12809 Lincoln Avenue SW retains integrity of location and setting, as it remains on its original parcel surrounded by single- and multi-family development. It does not retain integrity of design, materials, and workmanship, as it has been resided with incompatible materials and its windows have been replaced with vinyl-framed windows. The complex does retain integrity of feeling and association, as it continues to serve its original purpose as multi-family housing.

Evaluation

The Lincoln Landing apartment complex at 12809 Lincoln Avenue SW, was constructed in 1977 as two parallel buildings with a central laundry facility (NETROnline 2023; Pierce County 2023). The apartment complex was constructed during a period when Lakewood and other communities along the new route of I-5 were growing. While development was often associated with general patterns in transportation and housing in Pierce County, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010). The base has shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis 2023).

Although providing residential units during a period of multi-family construction in today's Lakewood, the complex does not appear, based on a review of historic maps and local histories, to have any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The complex is a modest, modern development with few character-defining features apart from its footprint and new materials. The complex does not possess the distinctive characteristics of a particular type, period, or method of construction. It does not possess high artistic values or represent the works of a master. It does not represent a significant and distinguishable entity whose components may lack individual distinction (Criterion C). Finally, the complex was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the apartment complex at 12809 Lincoln Avenue SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Multi-family Residence

Property ID: 730674

Physical description: According to the Pierce County Assessor, the two-building apartment complex at 12809 Lincoln Avenue SW was constructed in 1977 (Pierce County Assessor 2023). The two rectangular two-story buildings are parallel on a large lot facing north. A small laundry room sits between them at the rear of the lot. Its date of construction is not recorded, but it is assumed to date to 1977.

The buildings sit on poured-concrete foundations, are clad in vinyl siding, and are topped by shallow hipped roofs covered in asphalt shingles with projections over the north elevations where exterior stairs approach the upper story entries. Side entries include vinyl-frame, sliding windows on upper and lower stories. Recessed, centrally located stairs approach upper story units. On the buildings' rear elevations are additional exterior stairs. Stairs include simple square posts and rails. Parking lots are located east and west of the buildings, with additional parking and a lawn between them. The laundry room building is a small, rectangular building clad in vinyl siding with two partially glazed doors and two large, sliding, vinyl-frame windows on the north elevation. The building is topped by a hipped roof with asphalt shingles.

Bibliography: Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

NETROnline. 2023. Historic Aerials, Pierce County. Electronic document, <https://www.historicaerials.com/>, accessed April 20, 2023.

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

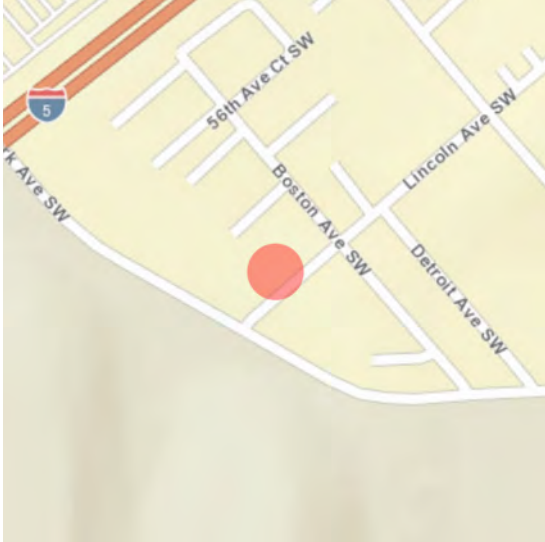


Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 730675

Location



Address: 13020 Lincoln Ave SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219141045

Geographic Areas: Pierce County Certified Local Government, Lakewood Certified Local Government, Pierce County, STEILACOOM Quadrangle, T19R02E14

Information

Number of stories: 2.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1964	<input type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Multiple Family House
Domestic	Domestic - Multiple Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
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Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 730675

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
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Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 730675

Photos



13020 Lincoln Avenue SW, view northwest.jpg



13020 Lincoln Avenue SW, view northeast.jpg



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 730675

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Foundation	Concrete - Poured
Form Type	Multiple Dwelling - U Court
Roof Type	Flat with Eaves
Roof Material	Asphalt/Composition - Shingle
Cladding	Wood - Vertical Boards
Plan	U-Shape

Surveyor Opinion



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 730675

Significance narrative:

Integrity

From its period of construction (1964), the apartment complex at 13020 Lincoln Avenue SW retains integrity of location and setting, as it remains on its original parcel surrounded by single- and multi-family development. It does not retain integrity of design, materials, or workmanship, as it has been resided with incompatible materials and its windows have been replaced with vinyl-framed windows. The complex does retain integrity of feeling and association, as it continues to serve its original purpose as multi-family housing.

Evaluation

The Pacific Ridge apartment complex at 13020 Lincoln Avenue SW, was constructed in 1964 as a U-shaped complex with detached laundry facility (NETROnline 2023; Pierce County 2023). The apartment complex was constructed during a period when Lakewood and other communities along the new route of I-5 were growing. While development was often associated with general patterns in transportation and housing in Pierce County, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010). The base has shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis 2023).

Although providing residential units during a period of multi-family construction in today's Lakewood, the complex does not appear, based on a review of historic maps and local histories, to have any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The complex is a modest, modern development with few character-defining features apart from its footprint and new materials. The complex does not possess the distinctive characteristics of a particular type, period, or method of construction. It does not possess high artistic values or represent the works of a master. It does not represent a significant and distinguishable entity whose components may lack individual distinction (Criterion C). Finally, the complex was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the apartment complex at 13020 Lincoln Avenue SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Multi-Family Residence

Property ID: 730675

Physical description:

According to the Pierce County Assessor, the apartment complex at 13020 Lincoln Avenue SW was constructed in 1964 (Pierce County Assessor 2023). It is a two-story, U-shaped building facing south around a lawn with a detached laundry at the southern boundary. Its date of construction is not recorded, but it is assumed to date from 1964.

The primary building sits on a poured-concrete foundation, is clad in plywood with vertical boards (mimicking board and batten), and is topped by a flat roof with a shallow Mansard eave. The building includes recessed internal stairs that approach upper units and includes vinyl-frame, sliding windows on upper and lower floors. Some balconies with simple wood posts and rails are located on the interior walls of the U-shaped building, and units include vinyl-frame, sliding doors. The freestanding laundry room is a small rectangular building clad in T1-11 with vinyl-frame, sliding windows and a hip-on-gable roof.

Bibliography:

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

NETROnline. 2023. Historic Aerials, Pierce County. Electronic document, <https://www.historicaerials.com/>, accessed April 20, 2023.

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

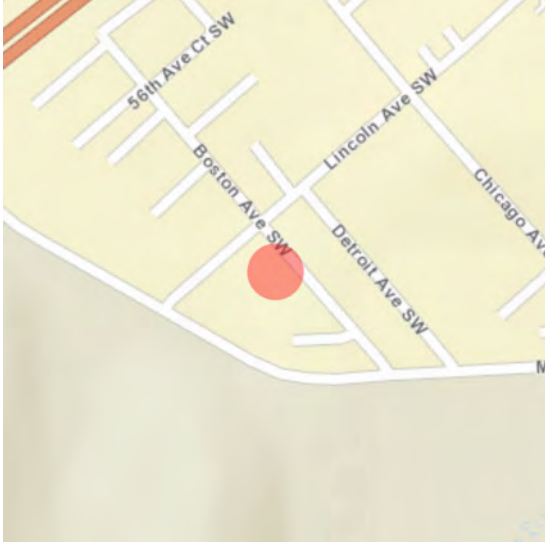


Historic Property Report

Historic Name: Residence

Property ID: 730676

Location



Address: 5508 Boston Ave SW, Lakewood, Washington, 98499

Tax No/Parcel No: 0219141019

Geographic Areas: Lakewood Certified Local Government, STEILACOOM Quadrangle, Pierce County, Pierce County Certified Local Government, T19R02E14

Information

Number of stories: 1.00

Construction Dates:

Construction Type	Year	Circa
Built Date	1955	<input checked="" type="checkbox"/>

Historic Use:

Category	Subcategory
Domestic	Domestic - Single Family House
Domestic	Domestic - Single Family House

Historic Context:

Category
Architecture

Architect/Engineer:

Category	Name or Company
----------	-----------------



Historic Property Report

Historic Name: Residence

Property ID: 730676

Thematics:

Local Registers and Districts

Name	Date Listed	Notes
------	-------------	-------

Project History

Project Number, Organization, Project Name	Resource Inventory	SHPO Determination	SHPO Determined By, Determined Date
2023-04-02454, , Lakewood Station Access Improvements Project, Phase 2		Survey/Inventory	



Historic Property Report

Historic Name: Residence

Property ID: 730676

Photos



5508 Boston Avenue SW, view west.jpg



5508 Boston Avenue SW, view southwest.jpg



Historic Property Report

Historic Name: Residence

Property ID: 730676

Inventory Details - 4/17/2023

Common name:

Date recorded: 4/17/2023

Field Recorder: Cele Wolman

Field Site number:

SHPO Determination

Detail Information

Characteristics:

Category	Item
Plan	Rectangle
Foundation	Concrete - Block
Form Type	Single Dwelling - Side Gable
Roof Type	Gable - Side
Roof Material	Asphalt/Composition - Shingle
Cladding	Wood - Shingle

Styles:

Period	Style Details
No Style	No Style

Surveyor Opinion



Historic Property Report

Historic Name: Residence

Property ID: 730676

Significance narrative:

Integrity

From its period of construction (ca. 1955), the residence at 5508 Boston Avenue SW retains integrity of location and setting, as it remains on its original parcel surrounded by additional single- and multi-family development. The small residence's roof structure, with its unusual overhangs and plywood in the gables, is not a typical feature and, along with a vinyl-frame sliding door on the north elevation, indicates a history of alteration that diminishes the building's integrity of design, materials, and workmanship. The building retains integrity of feeling and association, as it continues to serve its original purpose as single-family housing.

Evaluation

The residence at 5508 Boston Avenue SW was constructed in ca. 1955, during a post-war period when Lakewood and other communities along the new route of I-5 added additional residential development. While development was associated with general patterns in transportation and housing, Lakewood was also a popular location for military families associated with nearby Fort Lewis (established as Camp Lewis, an Army base, in 1917; redesignated a fort in 1927; and known as JBLM since it merged with the McChord Air Force Base in 2010), which shipped troops to the Korean, Vietnam, Gulf, Iraq, and Afghanistan wars (Fort Lewis 2023).

This house is one of numerous residences added to pre-incorporation Lakewood in the mid-twentieth century, but it does not appear, based on a review of historic maps and local histories, to have any specific or important association with events that made a significant contribution to the broad patterns of local, state, or national history (Criterion A). Background research did not reveal any association of the resource with the lives of significant persons (Criterion B). The building is an altered of a modest, utilitarian residence with few character-defining features apart from its footprint and wood windows (Pierce County Assessor 2023). Its history of alteration has obscured its historic-period character. The building does not possess the distinctive characteristics of its type, period, or method of construction. It does not possess high artistic values or represent the work of a master. It does not represent a significant and distinguishable entity whose components may lack individual distinction (i.e., contribute to an existing or potential district) (Criterion C). Finally, the building was built of common construction methods and well-known materials and is unlikely to answer important research questions or yield information about human history that can only be answered by the actual physical material, design, construction methods, or interrelation of the resource (Criterion D).

Due to a lack of significance and integrity, Historical Research Associates, Inc., recommends the residence at 5508 Boston Avenue SW not eligible for listing in the National Register of Historic Places or the Washington Heritage Register under any criteria.



Historic Property Report

Historic Name: Residence

Property ID: 730676

Physical description:

According to the Pierce County Assessor, the single-family residence at 5508 Boston Avenue SW was constructed in 1951 (Pierce County Assessor 2023). However, this appears to be an error as the parcel is bare until at least 1955 (NETROnline 2023). The building is rectangular, a single story tall, and faces east toward Boston Avenue SW. The building is paired with a large, freestanding garage to the west. The garage's date of construction is not recorded, but it is assumed to date to circa 1955.

The primary building sits on a concrete-block foundation, is clad in cedar shingles, and is topped by a side-gabled roof covered in asphalt roofing. The roof structure overhangs the building footprint on both the north and south elevations, and the gables are covered in plywood with applied battens.

The building's facade includes a single pedestrian door with concrete stoop and pipe rails at the northeast corner and two wood-frame, sliding windows to the south. Side elevations include no additional windows, but the north elevation includes a sliding, vinyl-frame door to the side yard. The freestanding garage is rectangular, front-gabled, clad in T1-11, and topped by a shingle roof. It includes a divided wood-frame window on the east elevation and an overhead garage door on the north.

Bibliography:

Fort Lewis. 2023. Fort Lewis, WA History. Electronic document, <https://www.ftlewishousing.com/history>, accessed March 31, 2023.

NETROnline. 2023. Historic Aerials, Pierce County. Electronic document, <https://www.historicaerials.com/>, accessed April 20, 2023.

Pierce County Assessor. 2023. Parcel and Property Information. Electronic document, <https://www.piercecountywa.gov/969/Parcel-Property-Information>, accessed April 20, 2023.

Appendix H

Inadvertent Discovery Plan

Lakewood Station Access Improvements Project

Inadvertent Discovery Plan

January 3, 2024

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Appendix A: On-Site Inadvertent Discovery Guide

Inadvertent Discovery Plan

Lakewood Station Access Improvements Project

January 3, 2024

1 Introduction

This Inadvertent Discovery Plan (IDP) has been developed by Sound Transit (ST) for use during ground-disturbing activities for the Lakewood Station Access Improvements Project (Project). This IDP describes the protocols to be followed by Project personnel if archaeological resources are discovered during ground-disturbing activities.

1.1 Project Description

The Project proposes access improvements for the Lakewood Sounder station in Lakewood, Pierce County, Washington. The Project is being implemented in phases. Phase 1 completed an alternatives evaluation and screening process to help identify the Preferred Alternative package of access improvements. Subsequently, this technical report was prepared in association with conceptual engineering and environmental assessment for the Project. Future phases will include preliminary engineering and preparation of project requirements and bridging documents for alternative project delivery.

Access improvement options, as described below, are under consideration.

1.1.1 Bridgeport Way Non-Motorized Connections via 115th Street Court SW (A8, A20, A38, B5, B6, C1, D6)

The improvements proposed at 115th Street Court SW will facilitate non-motorized movement from the Bridgeport Way SW bus station and the 115th Street Court SW cul-de-sac to the Lakewood Sounder Station. They will allow for drop off and pick up of passengers at the street end and access to the station via a trail along the north side of the tracks to the north station entrance.

Sharrows will be added to 115th Street Court SW from Bridgeport Way SW to the end of the cul-de-sac. Sharrows are lanes designated for sharing between vehicles and bikes – these are not separate bike lanes. Curb, gutters, and sidewalks will be constructed at the cul-de-sac and a portion of the north side of 115th Street Court SW. An approximately 1,620 feet long by 10-foot-wide asphalt path will be constructed from the end of the cul-de-sac along the north side of the rail right-of-way to just past the pedestrian overpass allowing passengers to access the overpass bridge to the station. The path will be bordered on both sides with a chain link fence for security and be extended beyond the overcrossing to reduce ground level crossing of the tracks.

The bus stop on the south side of Bridgeport Way SW at 115th Street SW will receive shelter improvements. At this intersection, a pedestrian half signal will be added, as well as improved lighting and crosswalks to improve access to the bus shelters. ADA curb ramps will be added to the sidewalks in this area.

On Bridgeport Way SW four driveways will be improved including adding new ADA curb ramps over a distance of approximately 2,300 feet. These are located from just south of 115th Street SW to 112th Street SW and include driveways to the Pet Doctor business and Watson Signature Event Center.

1.1.2 Route 206 Bus Stops and Sidewalks (A14, A23, A34, B4, B12, B13, B14, B15, B16, B19, B20)

Pierce Transit Route 206 runs down Bridgeport Way from the Lakewood Towne Center and extends south through the project area serving the access improvements project area. A number of transit stops, right-of-way, and intersections in this area are proposed for improvements. These are described in more detail below.

Curb, gutter, and a 6-foot-wide sidewalk will be constructed on the north side of New York Avenue SW and McChord Drive SW between Bridgeport Way SW and Pacific Highway SW over a distance of approximately 3,800 feet. Several new utility poles for lighting will be added to this road segment at various points along the route. Near the intersection of McChord Drive SW and Lincoln Avenue SW a concrete bus stop pad will be installed on both sides of the street with a shelter, bench, and pedestrian level lighting. New crosswalk striping will be added at Lincoln Avenue SW to access the southbound bus stop on McChord Drive SW. Another bus shelter will be added to the north side of McChord Drive SW near Bridgeport Way SW.

At the New York Avenue SW crossing of I-5, the sidewalks on the north and south sides will be removed. A new sidewalk will be constructed on the north side, which will be slightly over 6 feet wide. On the north side a concrete barrier and pedestrian railing will be installed between the street and the sidewalk and a new railing at the bridge edge.

New curb, gutter, and sidewalks will be constructed on Lincoln Avenue SW between McChord Drive SW and San Francisco Avenue SW for a distance of approximately 1,900 feet. Sidewalks will be added to both sides of Lincoln Avenue SW between McChord Drive SW and Chicago Avenue SW. From Chicago Avenue SW to San Francisco Avenue SW sidewalks will only be added to the north side of Lincoln Avenue SW.

New transit shelters, pedestrian level lighting, benches, and trash receptacles will be added to Bridgeport Way SW at the transit stops at San Francisco Avenue SW, Seattle Avenue SW, and Pacific Highway SW. A new pedestrian crossing signal and median pedestrian refuge will be added at the Bridgeport Way SW/Seattle Avenue SW intersection.

1.1.3 Route 206 Bus Connection to the Station (B8)

A new right turn lane from Pacific Highway SW to Bridgeport Way SW will be constructed to better accommodate transit turning movements. This includes removing the existing island, adjusting the lanes on Bridgeport Way SW by removing the median and constructing new curbs on Bridgeport Way SW and in the new turn lane.

1.1.4 Lakewood Sounder Station Improvements (A21, A41, B17, E1, E2, E4, E5)

Sounder station projects are proposed to improve access conditions for sight impaired, non-English speaking, and disabled persons, as well support non-motorized access. These include the following upgrades to the station:

- Provide parking for micro mobility uses such as scooters and bicycles.
- Add bird deterrent system.
- Provide ADA mini-high shelter (mini-high provides a level train boarding surface).
- Retrofit stairs and other station components that are currently collecting trash.
- Install a public address system.
- Provide accessible wayfinding for sight impaired persons.
- Brail for ticketing.
- Tactile strips between platform and drop-off areas.
- Provide signage for non-English speaking persons.

In addition, ADA compliant curb ramps will be retrofitted at 35 sidewalk locations within ½ mile of the station.

1.1.5 47th Avenue SW Bridge and Sidewalk Connections (A7, A17, A16.D)

Sidewalks, curbs, gutters, and sharrows will be constructed along both sides of 47th Avenue SW from Clover Creek to 120th Street SW. From 127th Street SW sidewalks, curbs and gutters will only be added to the west side of 47th Avenue SW extending across I-5 to Pacific Highway SW. A bike lane will be included on one side of the road. At the I-5 crossing the sidewalk on the east side will be removed and the sidewalk on the west side will be widened to 5 feet with a pedestrian barrier between the road and sidewalk and a pedestrian railing at the edge of the bridge. Enough room will be available to add sharrows across the bridge.

1.1.6 Other Improvements (A10, A 12, A18, A27, A28, A29, A30, A35, A36, A37, A39, D8.B, E3)

Various other station access improvements are proposed to enhance non-motorized travel in the project area. These are described below.

112th Street SW Connection—Sidewalks will be improved on 112th Street SW for a length of approximately 4,000 feet by adding curbs and gutters. Bike lanes will also be added.

Kendrick Street SW Connection—There will be full rebuild of approximately 1,000 feet to include curbs, gutters, sidewalks, bicycles lanes, and lighting.

Clover Creek Drive SW Connection—Provide sidewalks on Clover Creek Drive SW between Hillcrest Drive SW and Pacific Highway SW. Improve accessibility and safety at the at-grade rail crossing by providing sidewalks, signage, and crossing arms.

Wayfinding to Pickup/Drop-off Locations—Wayfinding signage will be added at several locations including near the intersection of Bridgeport Way SW and Pacific Highway SW, Bridgeport Way SW and 112th Street SW, and at Kendrick Street SW and 111th Street SW. Station access signage will be added to Pacific Highway SW near the station.

Clover Park High School Connection—Install bike lanes and rebuild curb, gutter, and sidewalks on 111th Street SW between 60th Avenue SW and Davisson Road SW.

Davidson Road SW Connection—Construct bike lanes, curb, gutter, and sidewalk on Davison Road SW between 108th Street SW and 111th Street SW, and on Highland Street SW between 111th Street SW and 112th Street SW. Potential replacement of power pole outside the right of way.

Springbrook Area Connections—Provide sidewalks, curb, gutter, pavement, and shared bicycle markings on 47th Avenue SW and McChord Drive SW for a distance of approximately 1,800 feet. Construct curb, gutter, sidewalks, and install street lighting on Chicago Avenue SW between McChord Drive SW and Springbrook Lane SW and Boston Avenue SW between McChord Drive SW and 57th Avenue Ct SW for a distance of approximately 1,900 feet. Construct curb, gutter, sidewalks, and install street lighting on San Francisco Avenue SW between Springbrook Lane SW and Bridgeport Way SW for a distance of approximately 1,300 feet.

Bike Storage—Upgrades will be made to the internal station bike parking to a bike cage or other more secure bike Parking. Bicycle lockers at the pickup/drop-off location on Kendrick Street SW north of the station and near overcrossing elevators will be installed.

Surface Parking—A completely new surface parking area (Northeast Surface Parking C) will be constructed north of the station. The parking area will be bordered by an 8-foot landscaped buffer that is bounded by a retaining wall. The entire parking area will be fenced. At the southern end of the parking area a 6-foot sidewalk will be constructed that connects to the Lakewood Sounder Station. There will be approximately 24 compact parking spaces and 46 standard-size parking spaces, and the parking area will include lighting.

1.2 Regulatory Environment

The Project is subject to multiple Washington State regulations which govern treatment and impacts to cultural resources. These regulations include:

- The Washington State Environmental Policy Act (SEPA)
- Revised Code of Washington (RCW) 27.53 and 68.50.645
- Washington Administrative Code 25-48

This IDP describes procedures that will be followed if archaeological resources or human remains are encountered during ground-disturbing activities, in compliance with applicable state and federal laws.

2 Archaeological Resources

On-site staff will follow the procedures described below and illustrated in the flowchart on Figure 1 - Standard Inadvertent Discovery Process for Archaeological Resources on Sound Transit Projects. The contact phone tree and examples of archaeological resources are provided in Appendix A - On-Site Inadvertent Discovery Guide.

An archaeological resource could be prehistoric or historic. When in doubt, assume the material is an archaeological resource.

Examples of prehistoric archaeological materials include:

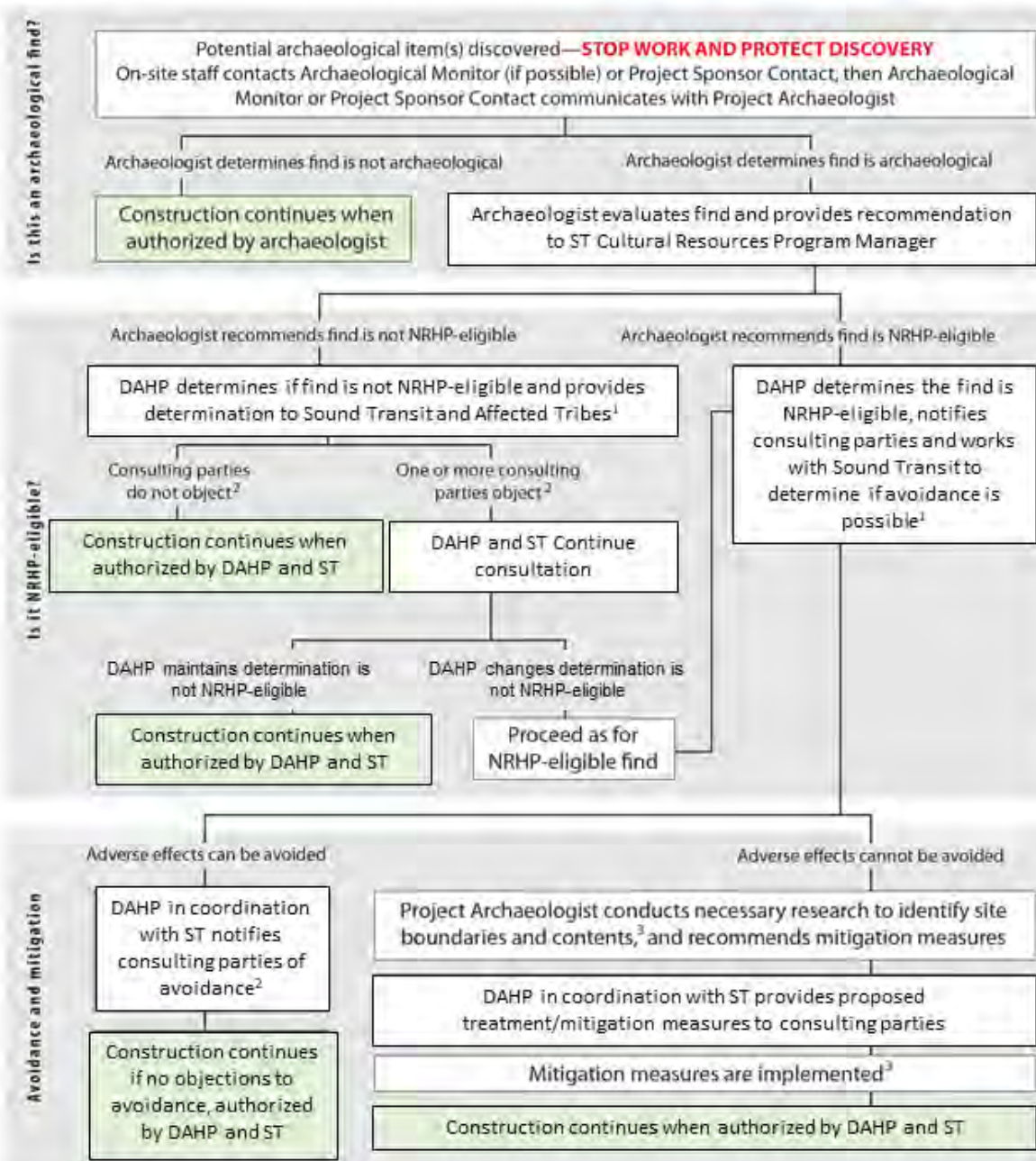
- An accumulation of shell, burnt rocks, or other food-related materials
- Bones or small pieces of bone
- An area of charcoal or very dark stained soil with artifacts
- Stone tools or waste flakes (i.e., an arrowhead or stone chips)
- Basketry, cordage, or rope
- Wooden posts or stakes

Examples of potentially historic archaeological materials include:

- Domestic ceramics (such as tableware, crockery, etc.) and industrial ceramics (such as insulators, tile, etc.)
- Glass, including bottles, tableware, window glass, wire glass, or multiple glass fragments
- Metal items, including equipment, vehicle parts, agricultural items, enameled ironware, etc.
- Bakelite, celluloid, glass, and shell buttons
- Punch-opened and solder-sealed beverage cans, solder-sealed food tins, general lack of thin-walled aluminum and welded steel cans
- Residential structural remains, such as historic building foundations or privies

NOTE: Items made of plastic, polystyrene, nylon, or Styrofoam, or those with modern markings (e.g., candy wrappers, or bottles and cans recognizable as modern) are not archaeological resources and do not constitute an inadvertent discovery.

Figure 1: Standard Inadvertent Discovery Process for Archaeological Resources on Sound Transit Projects



1 Consulting parties must be notified within 48 hours of an archaeological discovery
 2 Consulting parties have 48 hours to respond to agency determinations regarding discoveries
 3 Under Washington State Law, an excavation permit may be required prior to completion of this step

2.1 On-Site Staff Responsibilities

The following section describes the steps to follow if an on-site Sound Transit employee, contractor, or subcontractor believes that they have uncovered a potential archaeological resource (a find) at any point in the project.

- 1. Stop Work:** All work on site and in areas adjacent to the find will stop. The area of work stoppage will be adequate to protect the find from any further disturbance; this is expected to be 30 feet in any direction, unless site conditions indicate otherwise. The location of the find will be secured at all times. The find will not be handled, removed, reburied, or covered. The Contractor will install a physical barrier (e.g., exclusionary fencing) and prevent all machinery, other vehicles, and unauthorized individuals from crossing the barrier until the Project Archaeologist examines and verifies the find. Vehicles, equipment, and unauthorized personnel will not be permitted to traverse the discovery area. Spoils piles or vehicles (such as dump trucks) with the potential to contain archaeological resources will remain on site. Work at the location of the find will not resume until authorized by DAHP in coordination with ST.
- 2. Notify the Archaeological Monitor:** If there is an archaeological monitor on site, notify that person. The monitor will contact Alex Stevenson, Cultural Resources Program Manager, Sound Transit, unless there is a monitoring plan in place that directs the monitor to do otherwise. If Alex Stevenson is not available, the monitor will contact Hussein Rehmat, Environmental Planner, Sound Transit.
- 3. Notify Project Management:** If there is no archaeological monitor on site, contact Alex Stevenson. If they are not available, contact Hussein Rehmat. The Sound Transit representative will make all other contacts.
- 4. Avoid Any Other Communication:** Do not call 911, the media, or members of the public about the find.

IDP Terminology

A **find** is a discovery during construction that could potentially be an archaeological resource.

An **archaeological resource** is an artifact or feature (or group of artifacts or features) older than 50 years.

An **NRHP-eligible archaeological resource** is one that has been evaluated and meets the criteria for listing in the National Register of Historic Places. (NRHP).

2.2 Project Manager Responsibilities

- 1. Contact the Project Archaeologist:** Alex Stevenson of Sound Transit or designee will contact the Project Archaeologist, Matthew Warren (or, if there is not one, designate a qualified archaeologist), to evaluate whether the find is an archaeological resource as defined by state or federal law. If the Project Archaeologist recommends that the find is not an archaeological resource, the Project Archaeologist can authorize work to continue.

2. **Determine Area Adequate for Protection:** If the Project Archaeologist recommends that the find is an archaeological resource, the Project Archaeologist will determine the area and the means adequate for protection and instruct the Contractor to maintain or adjust the protected area accordingly.
3. **Notify Consulting Parties:** The Project Archaeologist will notify DAHP in coordination with ST of the discovery of an archaeological resource. DAHP in coordination with ST shall notify consulting parties (SHPO, tribes, and any other identified interested parties) of the find within 48 hours, per 36 CFR Part 800.13.
4. **Research to evaluate NRHP-Eligibility:** The Project Archaeologist will conduct any additional research necessary to evaluate National Register of Historic Places (NRHP) eligibility of the archaeological resource. Based on this research, the Project Archaeologist will recommend to ST and DAHP whether the archaeological resource is NRHP-eligible. This additional research may include preparation of an archaeological excavation permit which will be prepared by ST and reviewed by DAHP in consultation with consulting parties. DAHP will authorize this permit and allow research to continue as appropriate.
5. **Formally Determine NRHP-Eligibility and Continue Consultation:** DAHP in coordination with ST shall determine whether the archaeological resource is NRHP-eligible and shall provide the determination to consulting parties. Consulting parties shall respond within 48 hours, per 36 CFR Part 800.13.

If DAHP in coordination with ST determines that the archaeological resource is not NRHP-eligible and consulting parties do not object within 48 hours, construction may continue when authorized by DAHP in coordination with ST. If any consulting party objects, DAHP in coordination with ST shall continue consultation with all consulting parties in good faith to resolve the lack of agreement.

6. **Avoid or Mitigate Adverse Effects:** If DAHP in coordination with ST determines that the archaeological resource is NRHP-eligible, DAHP will work with ST to determine whether adverse effects can be avoided. If adverse effects can be avoided, DAHP in coordination with ST shall provide documentation of avoidance and a determination of No Adverse Effect to consulting parties. If consulting parties do not object within 48 hours, construction may continue when authorized by DAHP in coordination with ST. If any consulting party objects, DAHP in coordination with ST shall continue consultation with all consulting parties in good faith to resolve the lack of agreement.

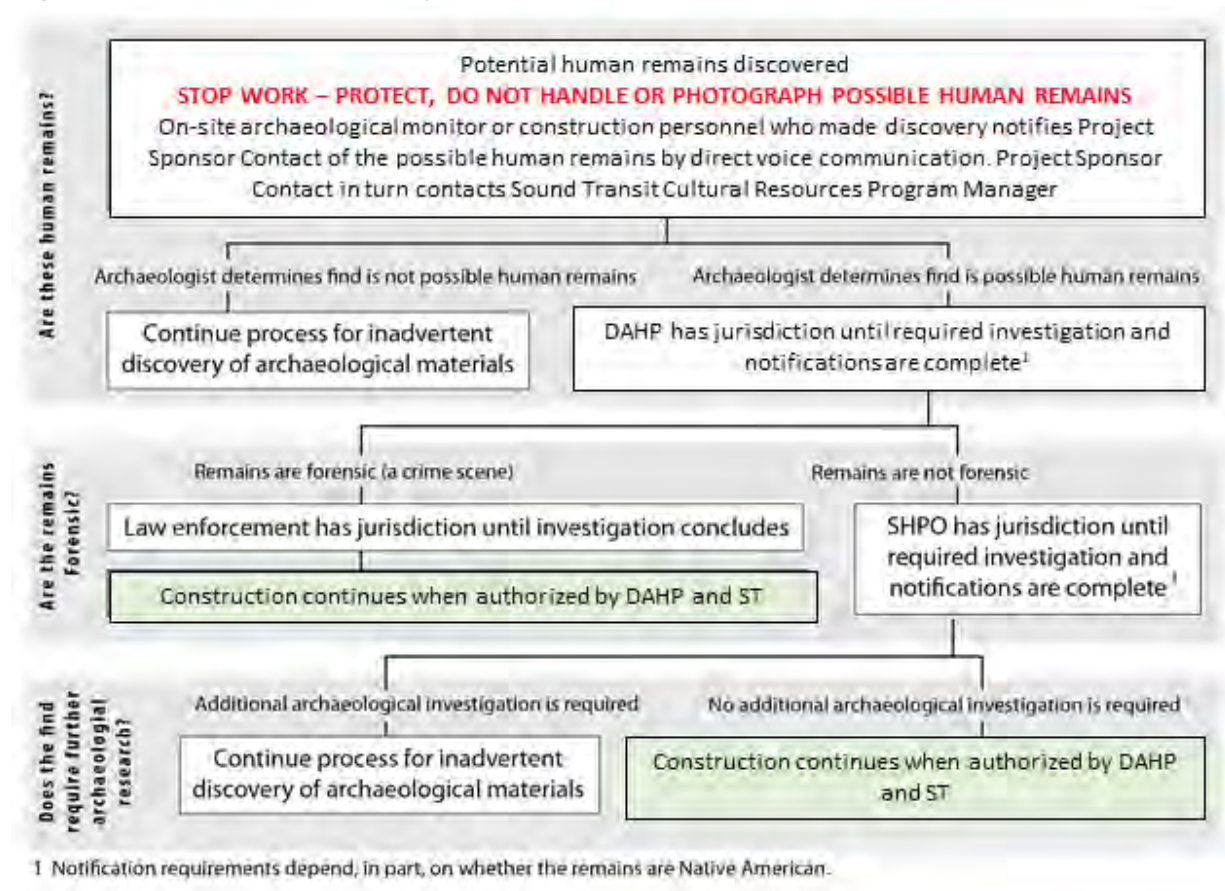
If DAHP in coordination with ST determines that adverse effects cannot be avoided, DAHP will work with ST and consulting parties to implement mitigation measures outlined in an

excavation permit. This permit may be the same as the initial excavation permit from Step 5 or preparation of an additional excavation permit may be required.

3 Human Remains

Uncovered human remains on project construction site require special treatment under RCW 68.50.645. Any potential remains that are encountered during project work should be assumed to be human until determined otherwise by the Project Archaeologist or the applicable County Medical Examiner. Procedures for the discovery of possible human remains are shown in Figure 2 and described below.

Figure 2: Process for Discovery of Possible Human Remains



3.1 On-Site Staff Responsibilities

On-site staff will follow the procedures described below. The contact phone tree is shown in Appendix A - On-Site Inadvertent Discovery Guide.

1. **Stop Work:** If any Sound Transit employee, contractor, or subcontractor believes that he or she has uncovered possible human remains at any point in the project, all work on site and in areas adjacent to the discovery will stop. The area of work stoppage will be adequate to

protect the discovery, which is expected to be a minimum of 30 feet in all directions, unless the Project Archaeologist or law enforcement personnel indicate otherwise.

2. **Do Not Handle Human Remains:** Possible human remains shall not be handled, removed, reburied, or covered.
3. **Flag and Secure the Area:** The area of discovery will be flagged and secured. The location of the discovery will be secured at all times. Construction equipment and personnel will not enter the area. Spoils piles or vehicles from the area that have the potential to contain human remains, such as dump trucks, will remain on site. No persons other than the proper law enforcement personnel, the applicable County Medical Examiner, and professional archaeologists will be authorized to access the discovery location after the area is secured.
4. **Notify the Archaeological Monitor:** If there is an archaeological monitor on site, notify that person. The monitor will contact Alex Stevenson, Cultural Resources Program Manager, Sound Transit, unless there is a monitoring plan in place that directs the monitor to do otherwise. If Alex Stevenson is not available, the monitor will contact Hussein Rehmat, Environmental Planner, Sound Transit.
5. **Notify Project Management:** If there is no archaeological monitor on site, contact Alex Stevenson. If they are not available, contact Hussein Rehmat. The Sound Transit representative will make all other contacts.
6. **Avoid Any Other Communication:** Do not call 911, the media, or members of the public about the find.

3.2 Project Manager Responsibilities

1. **Preliminary Observation:** The Sound Transit Cultural Resources Program Manager will notify DAHP (via phone) of the discovery and will coordinate with the Project Archaeologist to assess whether the discovery may be human remains (without disturbing the discovery further). If the discovery can be definitively identified as nonhuman, procedures for archaeological resources will be followed.
2. **Notify Local Law Enforcement:** If the discovery could possibly be human remains, the Sound Transit Cultural Resources Program Manager or the Project Archaeologist shall call the Lakewood Police Department non-emergency number and report that potential human remains have been discovered. The Lakewood Police Department will control the discovery site until it is either determined to be non-forensic (not a crime scene) or the investigation is complete.
3. **Participate in Consultation:** The Sound Transit Cultural Resources Program Manager will participate in consultation. If there are also archaeological materials at the human remains

discovery location, there may be a parallel archaeological resources process led by DAHP. Construction can resume when authorized by DAHP and ST.

4 Construction Team Training, Communication, and Reporting

4.1 Preconstruction Meeting

A preconstruction meeting will be held for the Project Archaeologist, Construction Management Lead, Resident Engineer, Contractor's project manager, Project Superintendent, and other personnel responsible for overseeing ground-disturbing field operations to:

- Review IDP procedures
- Provide introductions of the Sound Transit representatives, the Project Archaeologist, and other personnel
- Describe the role of the Project Archaeologist
- Establish a chain of command for communication and decision-making among the Project Archaeologist and Sound Transit and Contractor personnel
- Clarify questions about stop-work and notification procedures
- Provide a copy of the On-Site Inadvertent Discovery Guide (Appendix A) to field staff providing oversight of ground-disturbing work.

The preconstruction meeting will occur prior to any ground-disturbing activity. Additional meetings will be scheduled if there is substantial staff turnover, concern about staff understanding the protocols, a long break in construction, or a desire for refresher training on policy. The Project Archaeologist will remain in contact with Sound Transit Cultural Resources Program Manager and Sound Transit throughout the project to determine if site visits, additional meetings, or orientations are needed.

4.2 Construction Crew Member Orientation

The Project Archaeologist may provide on-site cultural resources orientation for all construction crew members leading ground-disturbing construction work. Orientation will inform and familiarize construction personnel with the IDP protocols and their responsibility to call attention to any archaeological materials they observe. The Sound Transit Cultural Resources Program Manager will coordinate with the Project Archaeologist to provide a brief orientation to construction crew members, as appropriate.

4.3 Ongoing Communication

The Sound Transit staff, contractor, and its agents will abide by established communication protocols described in the inadvertent discovery processes in Sections 2 and 3 regarding any archaeological resource matters that arise during construction. The Project Archaeologist will remain in communication with the Sound Transit Cultural Resources Program Manager (or designee), as appropriate, throughout project construction, via email and phone. If any member of the Project team feels communication is inadequate to ensure that the archaeologist is on site when it is prudent, the Project team member can contact DAHP. DAHP will coordinate with Sound Transit on how to improve communication.

4.4 Reporting of Inadvertent Discoveries

The responsibilities of the Project team include assessments of any inadvertent discoveries and a summary of results at the conclusion of construction. Reports regarding assessments of any inadvertent discoveries will be provided by Sound Transit to DAHP for review before submission to consulting parties. For all reporting, sensitive information regarding archaeological resources, human remains, funerary objects, or traditional practices shall not be released except as authorized by DAHP under applicable state.

Assessment of Inadvertent Discoveries

The Project Archaeologist will be responsible for preparing an assessment of all inadvertent discoveries during construction. The assessment will be used by DAHP to determine Section 106 eligibility and effects determinations and inform any additional coordination or investigation that may be necessary. The assessment will be prepared within 24 hours of an inadvertent discovery and can be provided to Sound Transit in a memorandum or email. It will include the following information:

- 1) A description of the find, in enough detail to characterize its features and age. The description should include at least one photograph of the find.
- 2) A description and map of where the find occurred, including its context with adjacent features. The location of the find should be identified on a map that also identifies other known historic properties, if relevant.
- 3) Whether or not the find is an archaeological resource.
- 4) For archaeological resources, a recommendation of NRHP-eligibility that includes a statement of the age of the find, evaluation of find against each NRHP criterion, and a description of the integrity of the find.

5 Archaeological Resources and Collection Curation

No artifact shall be removed or taken by any construction crew member, regardless of archaeological significance or the disposition of the artifact. If a NRHP-eligible resource is encountered and the Archaeological Treatment Plan includes excavation or removal of the archaeological materials, the plan will specify collection and curation requirements. If artifacts are removed from the site for analysis and determined ineligible, the Project Archaeologist will dispose of the material.

6 Contact Information

<p>Sound Transit Primary Contact: Alex E. Stevenson Title: Cultural Resources Program Manager Office Phone: 206-553-3655 Cell Phone: 206-419-5315 Email address: alex.stevenson@soundtransit.org</p> <p>Alternate Contact: Lesley Maurer Title: Senior Environmental Planner Office Phone: 206-553-3892 Cell Phone: 505-908-5814 Email address: lesley.maurer@soundtransit.org</p>	<p>Puyallup Tribe of Indians Primary Contact: Brandon Reynon Title: Tribal Historic Preservation Officer Office Phone: 253-573-7986 Email address: brandon.reynon@puyalluptribe-nsn.gov</p> <p>Nisqually Indian Tribe Primary Contact: Brad Beach Title: Tribal Historic Preservation Officer Office Phone: 360-456-5221, ext. 1277 Cell Phone: 360-528-1084 Email address: beach.brad@nisqually-nsn.gov</p> <p>Confederated Tribes and Bands of the Yakama Nation Primary Contact: Kate Valdez Title: Tribal Historic Preservation Officer Office Phone: 509-865-5121, ext. 4041 Email address: kate@yakama.com</p>
<p>Project Archaeologist Matthew Warren, Archaeologist, Historical Research Associates, Inc. Office Phone: 206-343-0226, ext. 304 Cell Phone: 206-940-6639 Email address: mwarren@hrassoc.com</p>	<p>Muckleshoot Indian Tribe Primary Contact: Laura Murphy Title: Archaeologist, Cultural Resources Office Phone: 253-876-3272 Email address: laura.murphy@muckleshoot.nsn.us</p>
<p>Washington State Department of Archaeology and Historic Preservation Transportation Archaeologist Name: Dennis Wardlaw Office Phone: 360-485-5014 Email address: dennis.wardlaw@dahp.wa.gov</p>	<p>Steilacoom Indian Tribe Primary Contact: The Honorable Danny K. Marshall Title: Chair Phone: 253-584-6308 Email address: steilacoomtribe@msn.com</p>
<p>Lakewood Police Department Non-Emergency Number: 253-287-4455</p>	<p>Suquamish Tribe Primary Contact: Stephanie Trudel Title: Tribal Historic Preservation Officer Phone: 360-394-8533 Email address: strudel@Suquamish.nsn.us</p>

Appendix A:

On-Site Inadvertent Discovery Guide for Lakewood Station Access Improvements Project

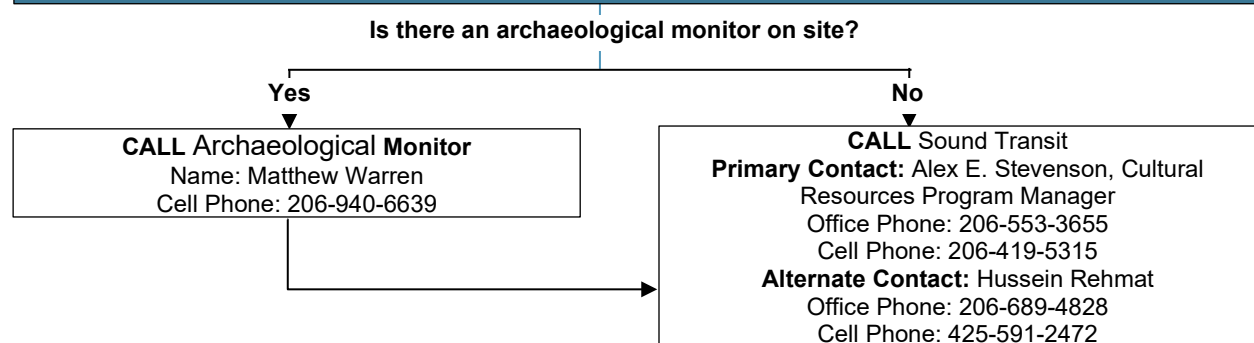
Lakewood Station Access Improvements Project

On-Site Inadvertent Discovery Protocols for Archaeological Materials and Human Remains

This information assists on-site personnel in implementing procedures described in the Inadvertent Discovery Plan, in compliance with applicable state and federal laws.

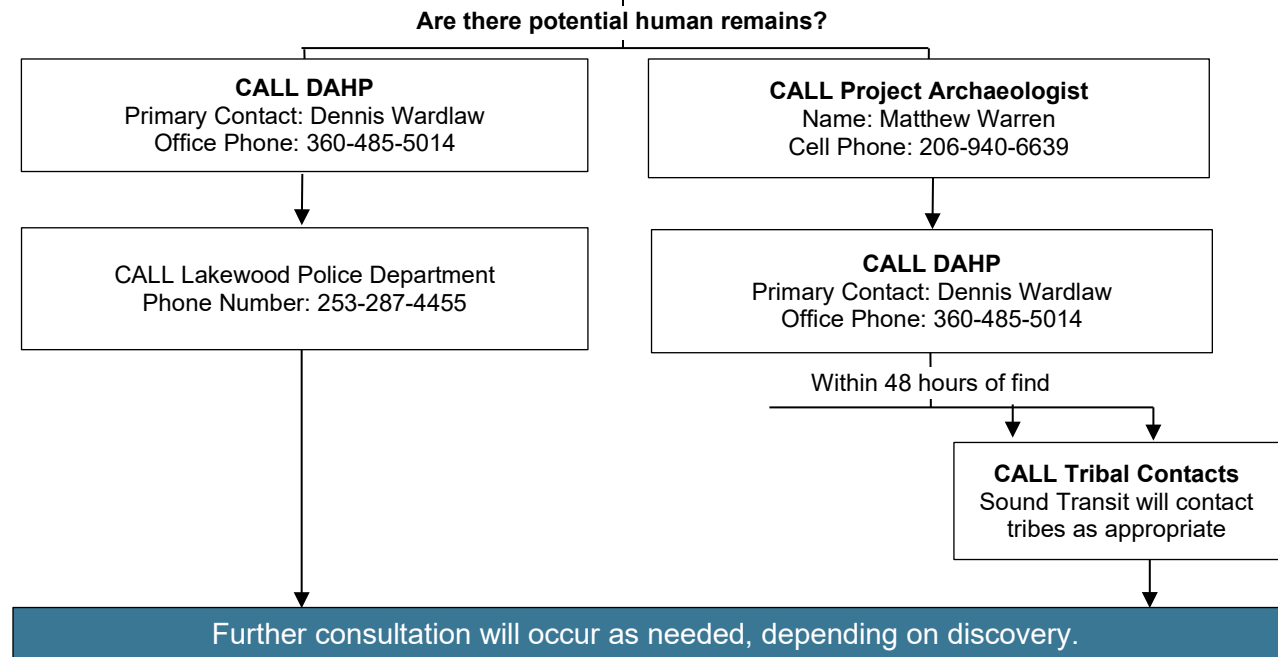
Contact Phone Tree—Potential archaeological resources encountered

On-site personnel stop all work within 30 feet of the discovery, unless conditions indicate otherwise. Work stoppage area will be adequate to protect the discovery.



STOP. On-site personnel do not make any further contacts.

Alex Stevenson, Cultural Resources Program Manager, makes all remaining contacts, in the order shown below.



Examples of Archaeological Resources



Layers of Shell



Burnt Soil (Hearth)



Burnt Rock Feature (Hearth)



Bone



Basketry



Flaked Stone Tool



Flaked Stone Tool



Stone Tool-Making Debris



Historic Cellar



Historic Utility Feature



Historic Artifact Scatter



Historic Artifacts

